

POLICY MOTION

COMMITTEE: Planning & Land Use Management (PLUM)

TITLE: Support for 3655 Centinela Ave – Change of Use from Church to Private school (Frostig School)

BACKGROUND:

Change of use and renovation of the former Church to a Private school for children with Learning differences. Students range from Elementary to High School. The property was purchased by the school in early 2025 with the intent to open a second campus in West Los Angeles campus. The property consists of a ±13,400 sf building with a classrooms, gym and auditorium. The grounds have an existing surface parking lot that will be partially retained with approximately 23 spaces, the remainder will be converted in to a fenced outdoor play area.

This project was presented to the PLUM committee on 11/13/25. It was mentioned that the school appears to be a low impact, positive use for the site and no major objections were raised.

THE MOTION:

The MVCC is in support of the proposed Change of Use located at 3655 Centinela Ave from Church to Private school
as presented to the board on 01/22/2026

DIRECTED TO:

- City of Los Angeles Department of City Planning
Attn: Phillip Bazan - Expedited Processing; Management Analyst.
Phillip.bazan@lacity.org
- City Clerk
- Office of Councilmember-Traci Park CD-11
Attn: Jeff Khau- Planning Deputy
Jeff.Khau@lacity.org
Attn: Matt Haden – Mar Vista Field deputy
Matt.Haden@lacity.org

ACTION/VOTE COUNT:

MVCC PLUM Committee meeting, Noveber 13, 2025

Motion by Blue, second by Hedge

Vote 11 yeas, 0 no

- Yeas- Blue, Hedge, Paddock, 8 Community members

MVCC Board Meeting, January 22, 2026

Motion of Support moved by Director XXX, seconded by Director XXX

Motion of Support approved by the MVCC Board XX-XX-XX

Case Number

Ordinance

Zoning Information

Case Number: CPC-2025-4636-CU3

Search

Approved Documents		Initial Submittal Documents	
3 Initial Submittal Documents found for Case Number: CPC-2025-4636-CU3			
Type		Scan Date	
▶ Application		8/18/2025	View
▶ Plot Plan		8/18/2025	View
▶ Project Plans		8/18/2025	View

Case Number: CPC-2025-4636-CU3

Case Filed On: 08/18/2025

Accepted For Review On:

Assigned Date: 08/19/2025

Staff Assigned: PHILLIP BAZAN

Hearing Waived / Date Waived : No

Hearing Location:

Hearing Date :

CPC Action:

CPC Action Date:

End of Appeal Period:

Appealed: No

BOE Reference Number: 0

Case on Hold?: Yes

Primary Address

Address	CNC	CD
3655 S CENTINELA AVE	Mar Vista	CD 11

[View All Addresses](#)

Project Description: The project is a change of use from Church to private elementary and high school in the [Q]RD1.5-1 Zone.

Applicant: Dr. Jennifer Tucker Mottes [Company: The Marianne Frosting Care Center for Educational Therapy]

Representative: Dale Goldsmith [Company: Ambruster Goldsmith & Delvac LLP]

[View Related Cases](#)

A B B R E V I A T I O N S	S Y M B O L S	P R O J E C T D I R E C T O R Y	F R O S T I G S C H O O L W E S T
<div><div><div>ABV A.F.F. ACC AC AD ADD ADH ADJ AGG ALT AL ARCH AUTO</div><div>ABOVE ABOVE FINISHED FLOOR ACCESS ACOUSTICAL AREA DRAIN ADDENDUM ADHESIVE ADJACENT AGGREGATE ALTERNATE ALUMINUM ARCHITECT[URAL] AUTOMATIC</div><div>FLG FLEX FL FD FPL FJT FTG FND FR FBO FUR FUT</div><div>FLASHING FLEXIBLE FLOOR(ING) FLOOR DRAIN FLOOR PLATE FLUSH JOINT FOOTING FOUNDATION FRAME(ING) FINISH BY OTHERS FURRED(ING) FUTURE</div><div>PT PTD PNL PAR PBD PTN PVMT PERI PV PCS PLAS PLAM PL PLUMB PLYWD PT PVC PL PT</div><div>PAINT PAINTED PANEL PARALLEL PARTICLE BOARD PARTITION PAVEMENT PERIMETER PHOTOVOLTAIC PIECES PLASTER PLASTIC LAMINATE PLATE PLUMBING PLYWOOD POINT POLYVINYL CHLORIDE PROPERTY LINE PRESSURE TREATED</div></div><div><div><div>BSMT BM BEL BHD BTWN BVL BIT BLKG BD BOTT B.O. BLDG BYD</div><div>BASEMENT BENCH MARK BELOW BEHIND BETWEEN BEVELED BITUMINOUS BLOCKING BOARD BOTTOM BOTTOM OF BUILDING BEYOND</div><div>GA GV GC GL GD GRV GT GYP GYPBD</div><div>Gauge Galvanized General Contractor Glass(Glazing) Grade(ing) Gravel GROUT GYPSUM GYPSUM WALLBOARD</div><div>RAD RL REC REF REG REINF REM REQ RF RET REV RH ROW R RD RM RO</div><div>RADIUS RAIL(ING) RECOMMENDED REFRIGERATOR REGISTER REINFORCE(D)(ING) REMOVE REQUIRED RESILIENT FLOORING RETURN REVISE(D)(ION) RIGHT HAND RIGHT OF WAY RISER ROOF DRAIN ROOM ROUGH OPENING</div></div><div><div><div>CAB CB CPT CSMT CI CIP CB CLK CLG CEM CER CIR CIRC CLR COL COMB COMPO CONC CMU</div><div>CABINET CATCH BASIN CARPET(ED) CASEMENT CAST IRON CAST IN PLACE CATCH BASIN CAULK(ING) CEILING CEMENT CERAMIC CIRCLE CIRCUMFERENCE CLEAR(ANCE) COLUMN COMBINATION COMPOSITION CONCRETE CONCRETE MASONRY UNIT</div><div>HT HORIZ HB HWH</div><div>HEIGHT HORIZONTAL HOSE BIBB HOT WATER HEATER</div><div>SB SCHED SF SLNT SEC SHTG SHT SH SIM SKYL SC SPEC SQ ST STL STBK STD STN SD STRUCT SUB SYM</div><div>SPLASH BLOCK SCHEDULE(D) SQUARE FEET SEALANT SECTION SHEATHING SHEET SHELF(VING) SIMILAR SKYLIGHT SOLID CORE SPECIFICATION(S) SQUARE STAINLESS STEEL SETBACK STANDARD STONE STORM DRAIN STRUCTURAL SUB CONTRACTOR SYMMETRICAL</div></div><div><div><div>CONST CONT CONTR CJT CG CTR CFL CS CRS CRG</div><div>CONSTRUCTION CONTINUE CONTRACT(OR) CONTROL JOINT CORNER GUARD COUNTER COUNTERFLASHING COUNTERSINK COURSE(S) CROSS GRAIN</div><div>KPL KITCH KO</div><div>KICK PLATE KITCHEN KNOCK OUT</div><div>T.O. TEL TC THK THR TL TOL T&G T&B T.O.S. T.O.W. TB T TYP TS</div><div>TOP OF TELEPHONE TERRA COTTA THICKNESS THRESHOLD TILE TOLERANCE TONGUE AND GROOVE TOP AND BOTTOM TOP OF SLAB TOP OF WALL TOWEL BAR TREAD TYPICAL TUBE STEEL</div></div><div><div><div>(E) ELEC EL ENCL EQ EQUIV EQUIP EST EXC EXH EXIST EXP EXT</div><div>EXISTING ELECTRIC(AL) ELEVATION ENCLOSE(URE) EQUAL EQUIVALENT EQUIPMENT ESTIMATE EXCAVATE EXHAUST EXISTING EXPPOSED EXTERIOR</div><div>(N) NAT NEC NOM NIC N.T.S.</div><div>NEW NATURAL NECESSARY NOMINAL NOT IN CONTRACT NOT TO SCALE</div><div>UNF UNO</div><div>UNFINISHED UNLESS NOTED OTHERWISE</div></div><div><div><div>F.O. F.O.C. F.O.F. F.O.M. F.O.S. F.O.V. F.O.W. FF FAST FIN FIN FL FPL</div><div>FACE OF FACE OF CONC FACE OF FINISH FACE OF MASONRY FACE OF STUD FLOOD OPENING/VENT FACE OF WALL FACTORY FINISH FASTEN(ER) FINISH(ED) FINISH FLOOR FIREPLACE</div><div>O/ OC OP OPNG OPP OPPH</div><div>OVER ON CENTER OPAQUE OPENING OPPOSITE OPPOSITE HAND</div><div>VB VAR VNR VERT VIN VB VT</div><div>VAPOR BARRIER VARNISH VENEER VERTICAL VINYL VINYL BASE VINYL TILE</div></div><div><div><div>WH WTW WC WP WWF W WIN WM W W/O WD WI</div><div>WATER HEATER WALL TO WALL WATER CLOSET WATER PROOF(ING) WELDED WIRE FABRIC WIDTH WINDOW WATER METER WITH WITHOUT WOOD WROUGHT IRON</div></div></div></div></div></div></div></div></div>	<div><div>Owner: The Marianne Frostig Center for Educational Therapy</div><div>Dr. Jenny Tucker Mottes 971 N. Altadena Drive Pasadena, CA 91107 Phone: 626.791.1255 Email: jenny@frostig.org</div><div>Architect: SPACELAB+ Claudia Kessner 181 Ramona Place Pasadena, CA 91107 Phone: 323.646.1426 Email: claudia@spacelabplus.com</div><div>Surveyor: Surveying and Drafting Services, Inc. 901 Seward Street Los Angeles, CA 90038 Phone: 323.366.2882</div></div>	<div>PROJECT DESCRIPTION: CHANGE IN USE FROM CHURCH TO SCHOOL. RENOVATION OF AN EXISTING 2 STORY BUILDING PLUS BASEMENT INTO A SCHOOL W/ 10 CLASSROOMS. EXISTING GYM IN BASEMENT TO REMAIN. CREATION OF AN OPEN REC SPACE.</div>	
			<div>APPLICABLE CODES:</div>
			<div>CITY of LOS ANGELES MUNICIPAL CODE 2023 CITY OF LOS ANGELES BUILDING CODE (LABC) 2023 LOS ANGELES GREEN BUILDING CODE (LAGBC) 2022 LOS ANGELES FIRE CODE (L AFC) 2022 CALIFORNIA BUILDING CODE (CBC) 2022 CALIFORNIA ENERGY CODE 2023 LOS ANGELES ELECTRICAL CODE 2023 LOS ANGELES PLUMBING CODE 2023 LOS ANGELES MECHANICAL CODE</div>
		<div>P R O J E C T D A T A</div>	<div>S H E E T I N D E X</div>
		<div><div>EXISTING BUILDING:</div><div><div>GROSS AREA:</div><div>FLOOR AREA:</div><div>FIRST FLOOR: 7,462 SF SECOND FLOOR: 4,250 SF BASEMENT: 3,664 SF</div><div>FIRST FLOOR: 6,568 SF SECOND FLOOR: 3,789 SF BASEMENT: 3,017 SF</div><div>TOTAL: 15,376 SF</div><div>TOTAL: 13,374 SF</div></div><div><div>LOT AREA:</div><div>GROSS:</div><div>29,915 SF</div><div>NET (EXCL PUBLIC EASEMENTS): 25,379 SF</div></div><div><div>FAR:</div><div>Floor area/ net lot area= FAR</div><div>13,374 SF/ 25,379 SF= 0.53</div></div></div>	<div>GENERAL</div> <div><div>T1.00 T1.10 T1.20 A1.00 A1.10 D2.10 D2.20 A2.10 A2.11 A2.12 A3.10</div><div>TITLE SHEET & PROJECT DATA SITE CONTEXT BUILDING SITE PHOTOS SITE PLAN TREE INVENTORY PLAN FIRST FLOOR DEMO PLAN SECOND FLOOR DEMO PLAN FIRST FLOOR FLOOR PLAN SECOND FLOOR PLAN BASEMENT PLAN EXTERIOR ELEVATION</div></div>
			<div>VICINITY MAP</div>

LOTS 64, 65, 66, 67 AND 68, INCLUSIVE, OF TRACT NO. 6052, AS PER MAP
RECORDED ON APRIL 25, 1923 IN BOOK 67, PAGES 71 AND 72 OF MAPS, IN THE
OFFICE OF THE COUNTY RECORDER OF LOS ANGELES COUNTY.

1. REFERENCE DOCUMENT FOR LEGAL DESCRIPTION AND EASEMENTS:
OLD REPUBLIC TITLE COMPANY ALTA COMMITMENT FOR TITLE INSURANCE, ORDER NO.
2202074474, DATED NOVEMBER 20, 2024.

2. SITE ADDRESS: 3655 S. CENTINELA AVENUE
LOS ANGELES CA 90066.

3. ASSESSOR’S PARCEL NUMBER: 4246–009–022

4. GROSS AREA: 29,915 SQ. FT. 0.687 ACRE
NET AREA (EXCLUDING PUBLIC STREET EASEMENTS): 25,379 SQ. FT. 0.583 ACRE

5. EXISTING PARKING SPACES: NO PARKING REQUIRED, SITE WITH AB2097
4 HANDICAP STALLS
21 STANDARD STALLS
23 COMPACT STALLS

6. CURRENT ZONING:
RD1.5–1 (RESTRICTED DENSITY MULTIPLE DWELLING)

7. BUILDING RESTRICTIONS PER ZONE:
SETBACKS:
FRONT: 15 FEET
SIDE: 5 FT; OR 10% OF LOT WIDTH WHERE LOT IS LESS THAN <50 FT WIDE; 3 FT MIN;
+1 FT FOR EACH STORY OVER 2nd, NOT TO EXCEED 16 FEET.
REAR: 15 FEET

HEIGHT LIMIT: 45 FEET
FLOOR AREA RATIO: 3:1

SPACELAB+

181 Ramona Place
Pasadena, CA 91107
t 323.646.1426
claudia@spacelabplus.com

FROSTIG SCHOOL
RENOVATION

3655 Centinela Ave
Los Angeles, CA 90066

OWNER
The Marianne Frostig Center for
Educational Therapy

971 N. Altadena Dr
Pasadena, CA 91107

	08/15/25	CUP SUBMISSION

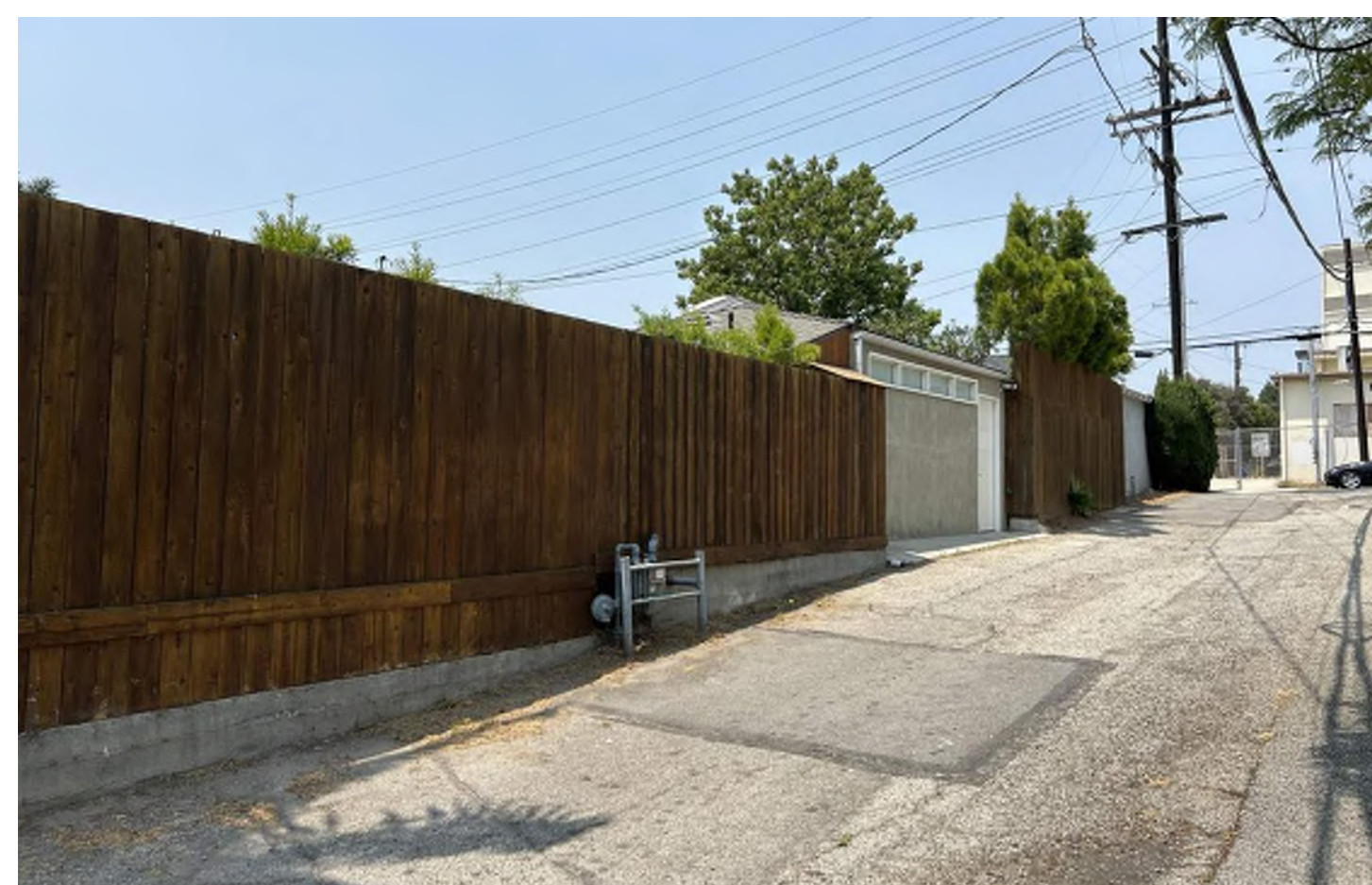
Notes

Revisions

Sheet Title

Sheet Number

T1.00

**FROSTIG SCHOOL
RENOVATION**

3655 Centinela Ave
Los Angeles, CA 90066

OWNER
The Marianne Frostig Center for
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971 N. Altadena Dr
Pasadena, CA 91107

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Notes

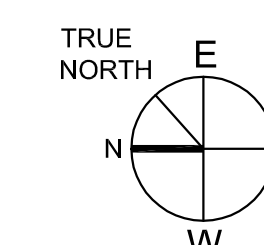
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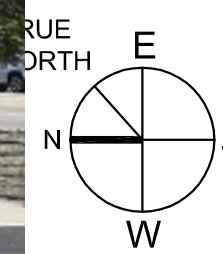
Sheet Title

SITE CONTEXT

Sheet Number

T1.10





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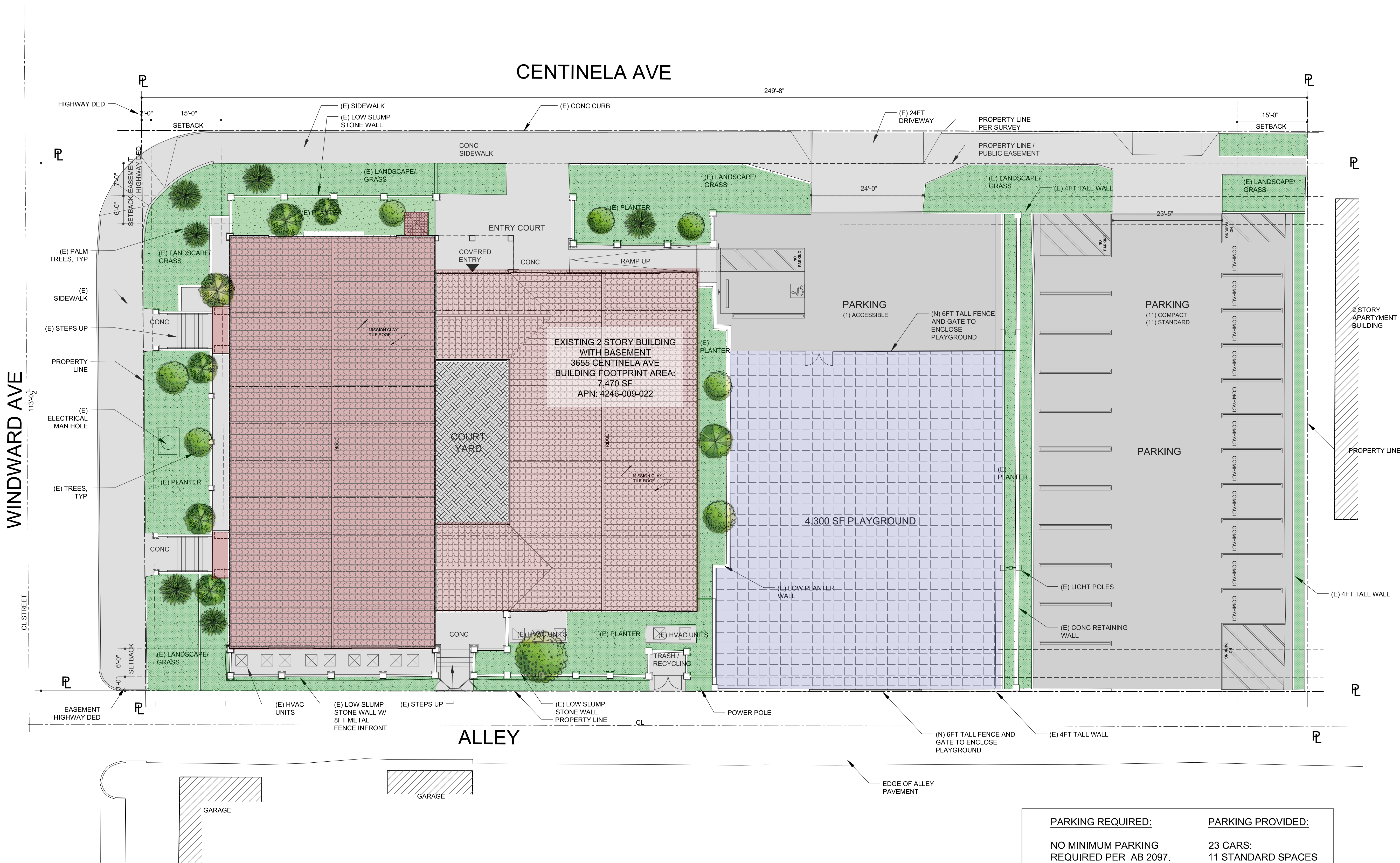
SITE PHOTOS

Sheet Number

T1.20

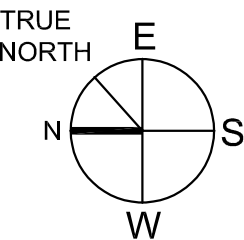
FROSTIG SCHOOL
RENOVATION

3655 Centinela Ave
Los Angeles, CA 90066



PARKING REQUIRED:	PARKING PROVIDED:
NO MINIMUM PARKING REQUIRED PER AB 2097.	23 CARS: 11 STANDARD SPACES 11 COMPACT SPACES 1 ACCESSIBLE SPACE

01 SITE PLAN
SCALE: 3/32"=1'-0"



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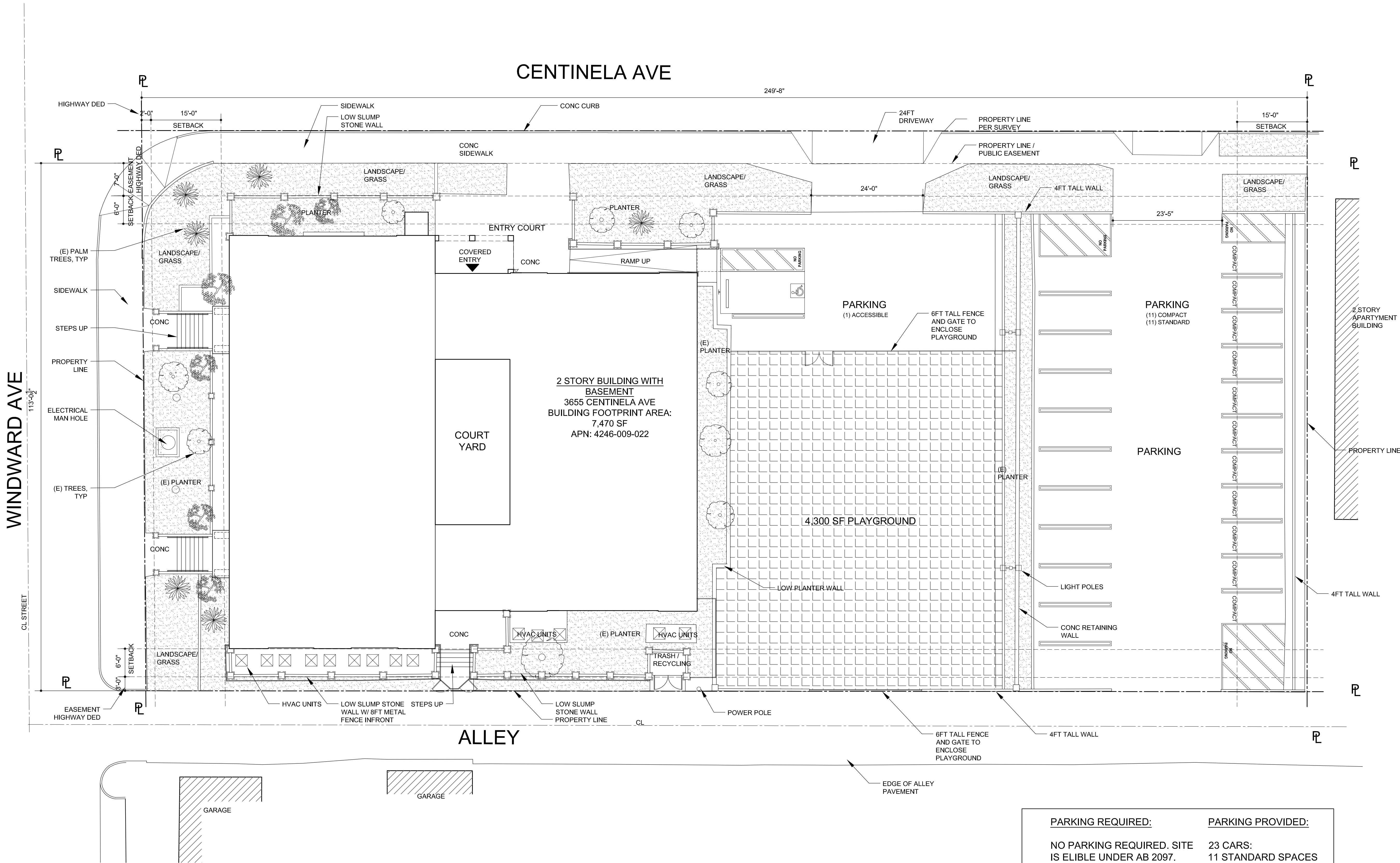
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Sheet Number

SITE PLAN

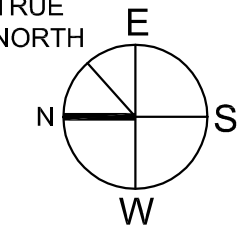
A1.00

FROSTIG SCHOOL
RENOVATION

3655 Centinela Ave
Los Angeles, CA 90066



01 SITE PLAN
SCALE: 3/32"=1'-0"



PARKING REQUIRED:	PARKING PROVIDED:
NO PARKING REQUIRED. SITE IS ELIBLE UNDER AB 2097.	23 CARS: 11 STANDARD SPACES 11 COMPACT SPACES 1 ACCESSIBLE SPACE

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Frostig School
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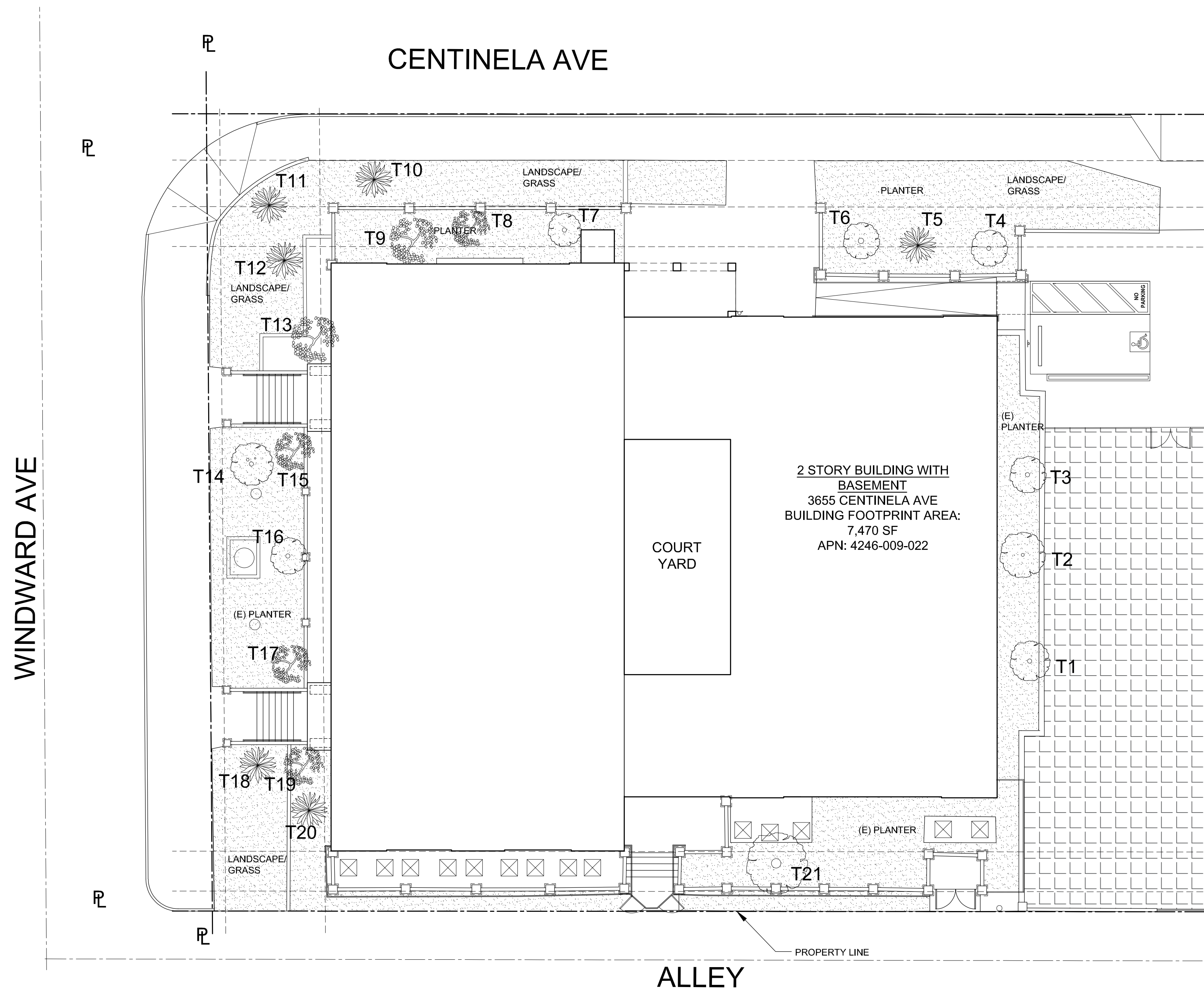
Sheet Title
Sheet Number

SITE PLAN

A1.00

FROSTIG SCHOOL RENOVATION

3655 Centinela Ave
Los Angeles, CA 90066



Marker	Species	Common Name	Trunk Sizes
T1	<i>Jacaranda mimosifolia</i>	Blue Jacaranda	1. 24" 2. 15"
T2	<i>Jacaranda mimosifolia</i>	Blue Jacaranda	1. 22"
T3	<i>Jacaranda mimosifolia</i>	Blue Jacaranda	1. 16" 2. 12"
T4	<i>Jacaranda mimosifolia</i>	Blue Jacaranda	1. 16.5"
T5	<i>Washingtonia filifera</i>	California Palm	1. 55"
T6	<i>Jacaranda mimosifolia</i>	Blue Jacaranda	1. 28"
T7	<i>Heptapleurum actinophyllum</i>	Australian Umbrella Tree	1. 43"
T8	<i>Heptapleurum actinophyllum</i>	Australian Umbrella Tree	1. 22" 2. 15"
T9	<i>Heptapleurum actinophyllum</i>	Australian Umbrella Tree	1. 27"
T10	<i>Washingtonia filifera</i>	California Palm	1. 62"
T11	<i>Washingtonia filifera</i>	California Palm	1. 54"
T12	<i>Washingtonia filifera</i>	California Palm	1. 52"
T13	<i>Heptapleurum actinophyllum</i>	Australian Umbrella Tree	1. 31"
T14	<i>Jacaranda mimosifolia</i>	Blue Jacaranda	1. 18"
T15	<i>Heptapleurum actinophyllum</i>	Australian Umbrella Tree	1. 20" 2. 19"
T16	<i>Heptapleurum actinophyllum</i>	Australian Umbrella Tree	1. 20" 2. 18"
T17	<i>Heptapleurum actinophyllum</i>	Australian Umbrella Tree	1. 12" 2. 15"
T18	<i>Washingtonia filifera</i>	California Palm	1. 42"
T19	<i>Heptapleurum actinophyllum</i>	Australian Umbrella Tree	1. 24" 2. 22"
T20	<i>Washingtonia filifera</i>	California Palm	1. 51"
T21	<i>Jacaranda mimosifolia</i>	Blue Jacaranda	1. 41"

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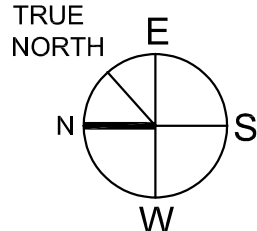
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Notes | Revisions

Sheet Number | Sheet Title

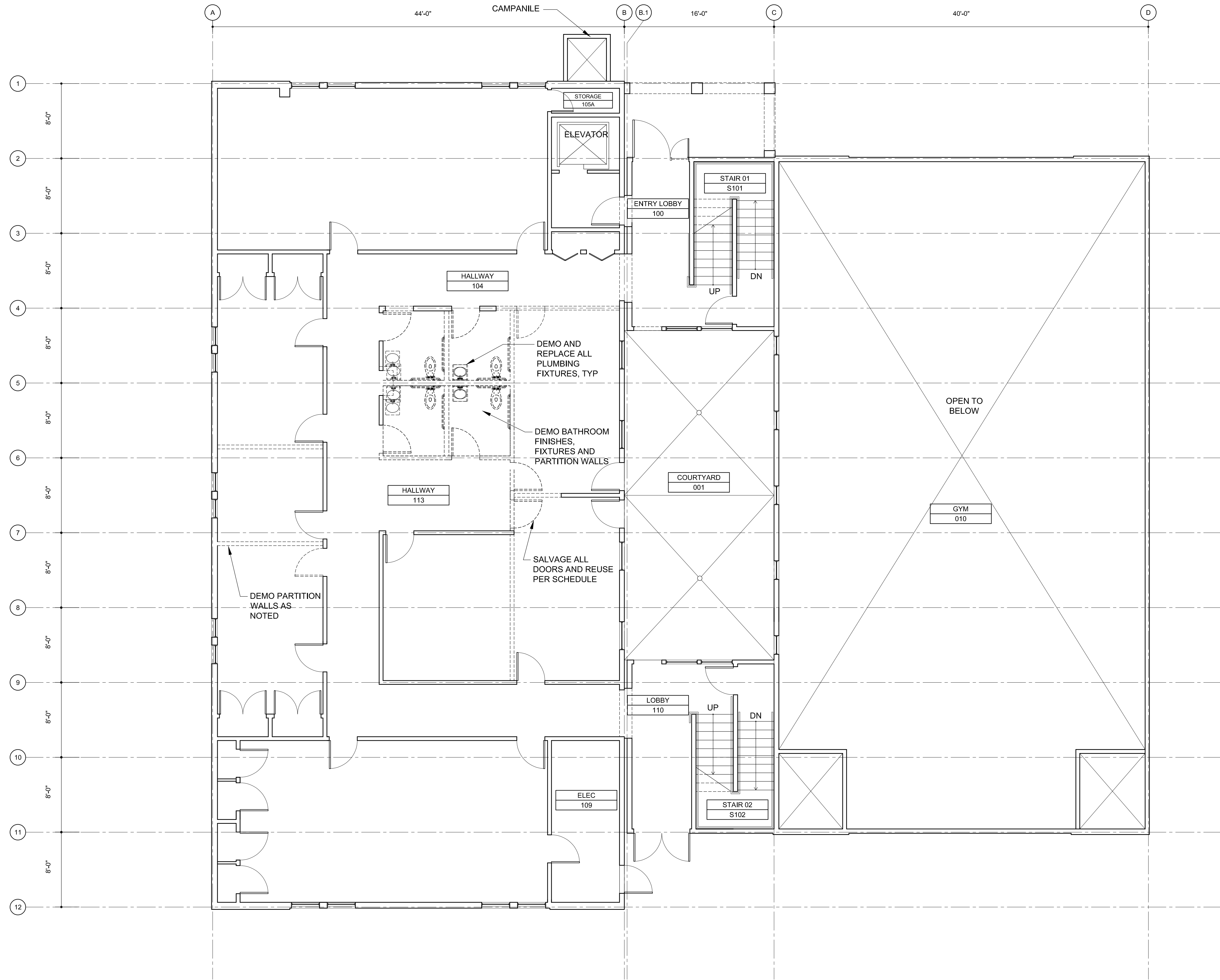
TREE INVENTORY PLAN

A1.10



FROSTIG SCHOOL
RENOVATION

3655 Centinela Ave
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01 FIRST FLOOR DEMO PLAN
SCALE: 3/16"=1'-0"

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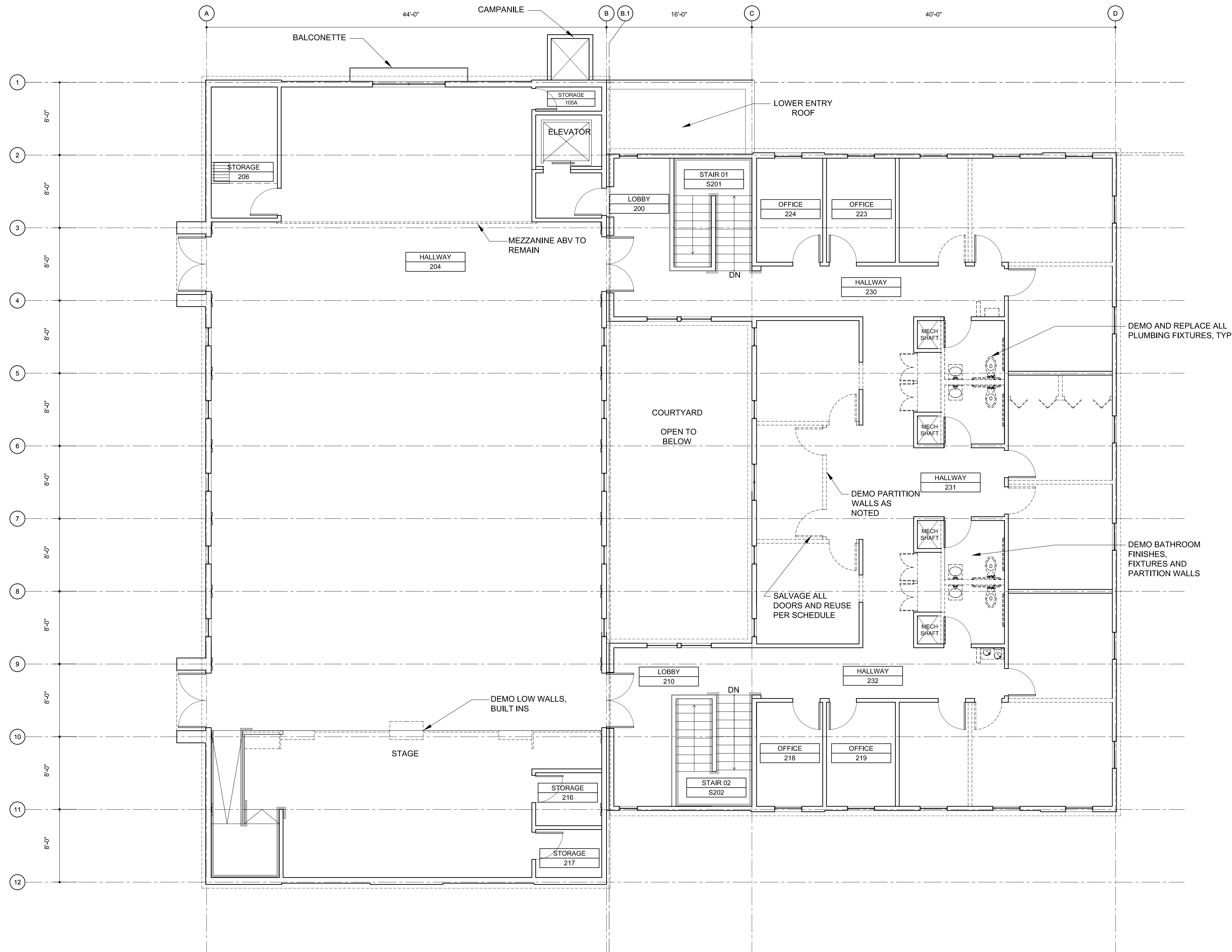
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Sheet Number

FIRST FLOOR
DEMO PLAN

D2.10

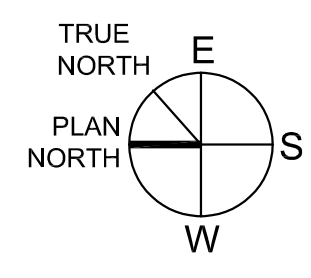
FROSTIG SCHOOL
RENOVATION

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01 SECOND FLOOR DEMO PLAN
SCALE: 3/16"=1'-0"

LEGEND
----- TO BE DEMOLISHED
===== EXISTING TO REMAIN



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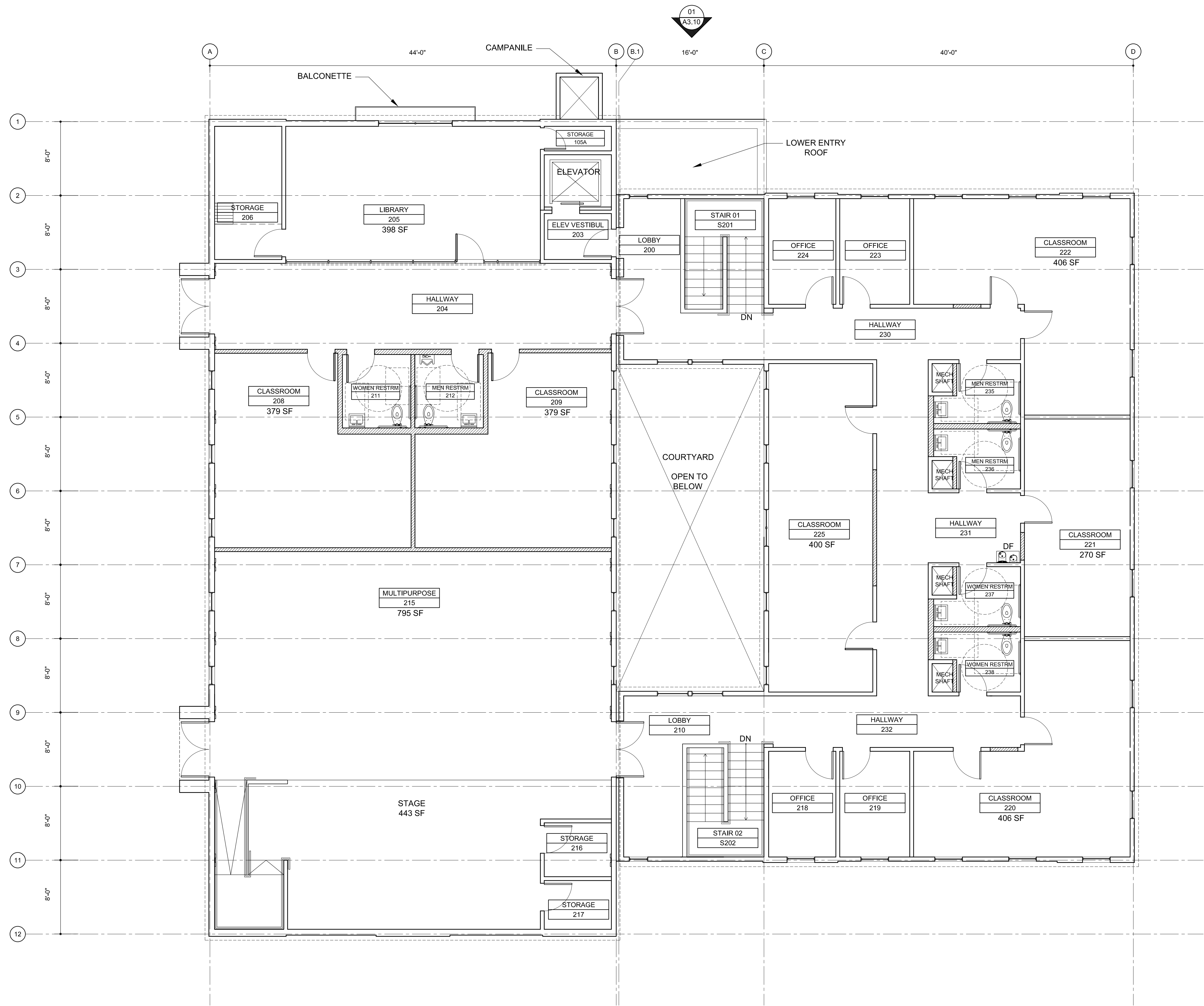
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Sheet Number

SECOND FLOOR
DEMO PLAN

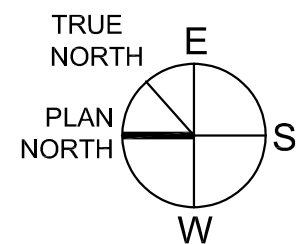
D2.11

FROSTIG SCHOOL
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01 SECOND FLOOR PLAN
SCALE: 3/16"=1'-0"



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Revisions

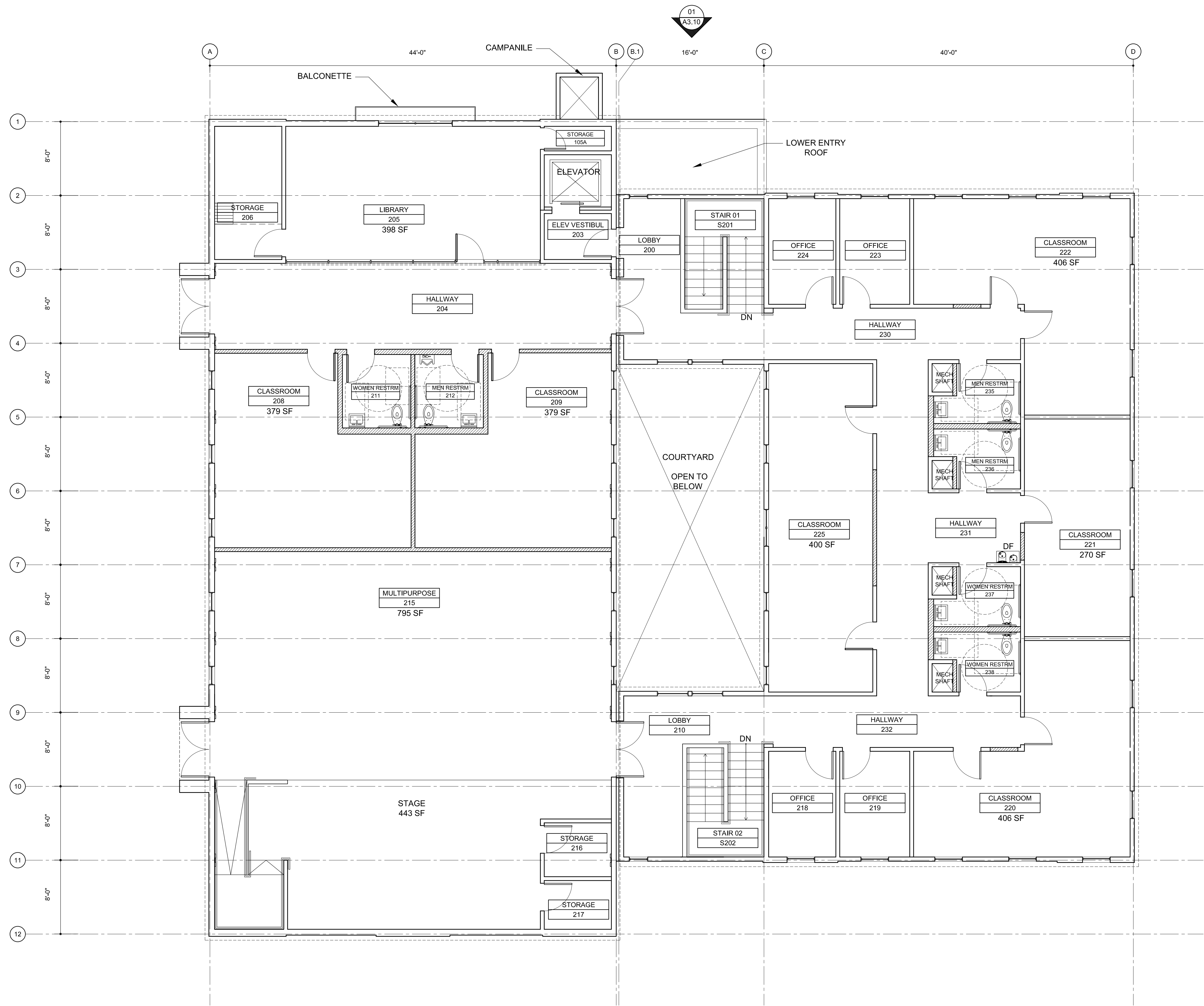
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Sheet Title
SECOND FLOOR
PLAN

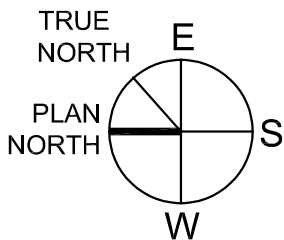
Sheet Number
A2.11

FROSTIG SCHOOL
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01 SECOND FLOOR PLAN
SCALE: 3/16"=1'-0"



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Sheet Title
SECOND FLOOR
PLAN

Sheet Number
A2.11

FROSTIG SCHOOL
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Los Angeles, CA 90066

OWNER
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Educational Therapy

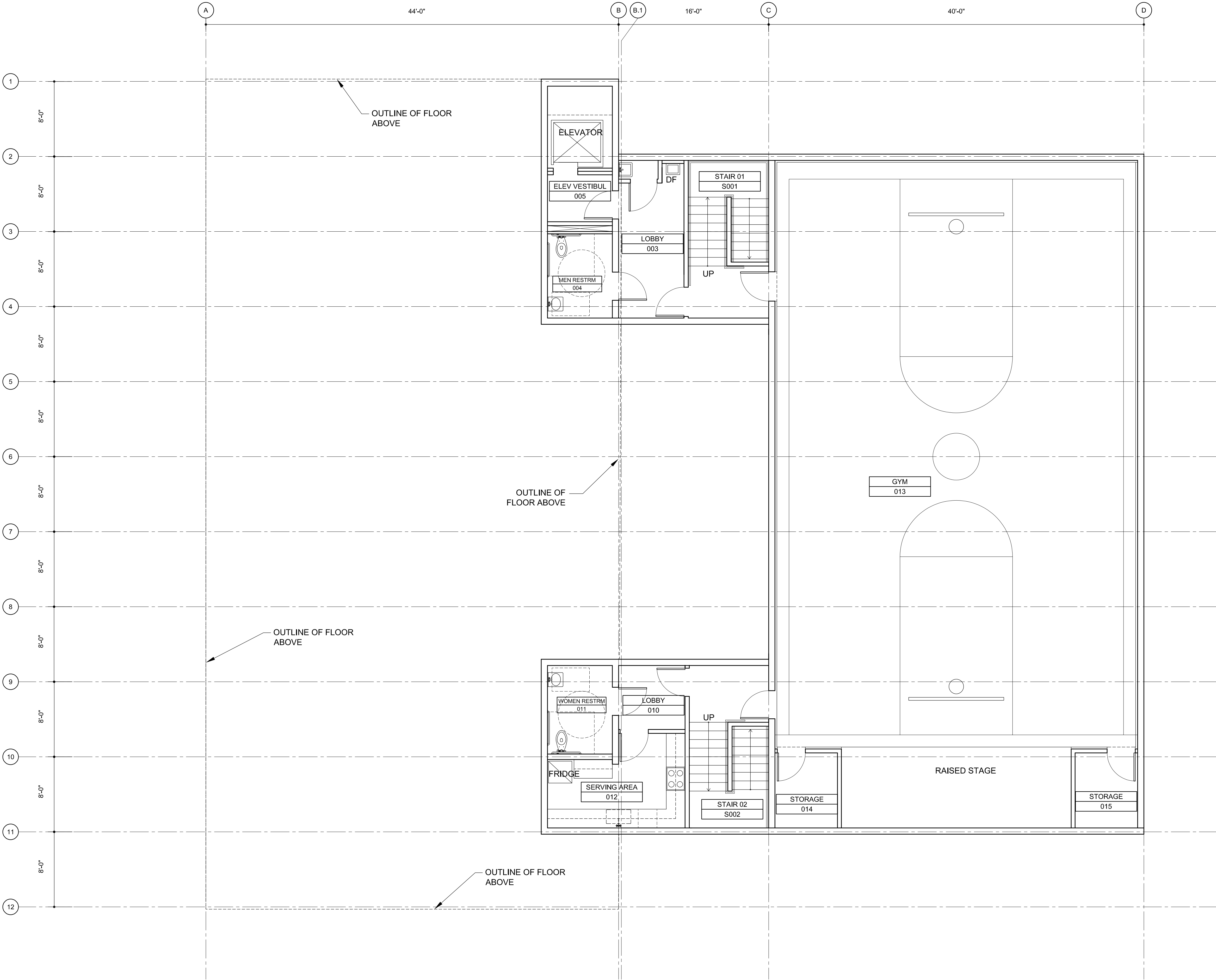
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08/15/25	CUP SUBMISSION

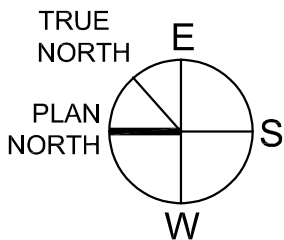
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Sheet Title
BASEMENT PLAN

Sheet Number
A2.12

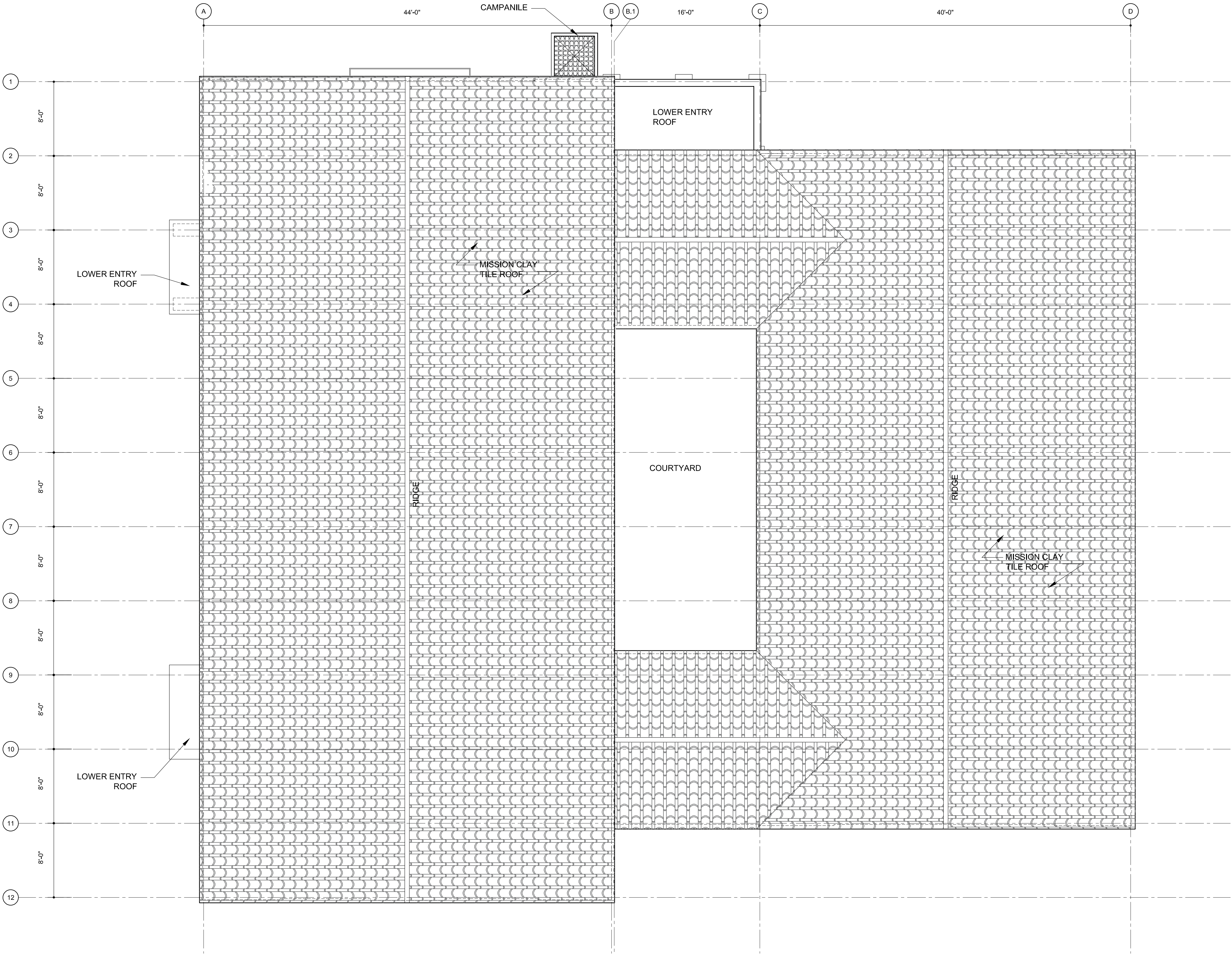


01 LOWER LEVEL / BASEMENT PLAN
SCALE: 3/16"=1'-0"

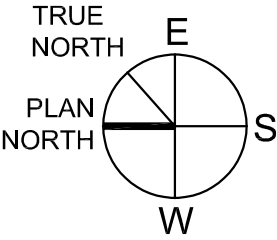


FROSTIG SCHOOL
RENOVATION

3655 Centinela Ave
Los Angeles, CA 90066



01 ROOF PLAN
SCALE: 3/16"=1'-0"



Notes

These drawings, specifications, ideas, designs, and arrangements presented
thereby are and shall remain the property of SpaceLab+. No part thereof
shall be copied, disclosed to others or used in connection with any work or
project other than the specific project for which they were prepared and
developed without the written consent of SpaceLab+. Visual contact with
these drawings or specifications shall constitute conclusive evidence of
acceptance of these restrictions.

Revisions

DATE	DESCRIPTION
08/15/25	CUP SUBMISSION

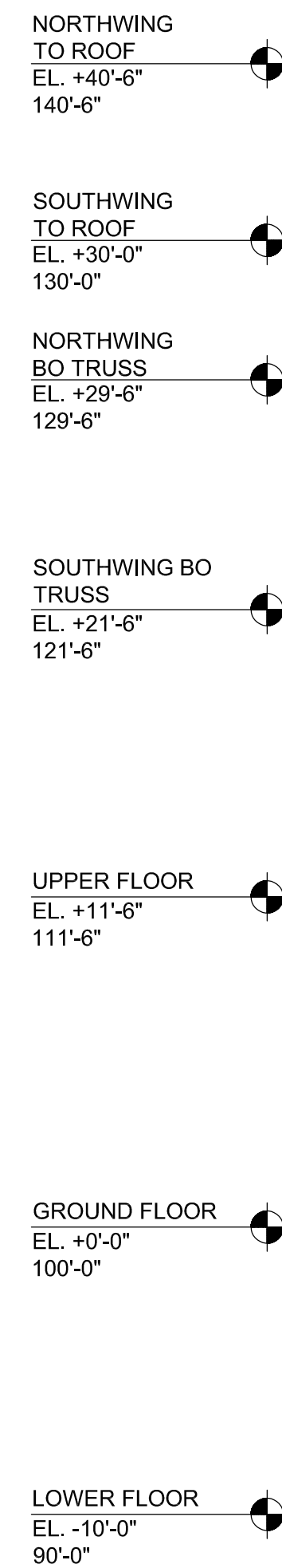
OWNER
The Marianne Frostig Center for
Educational Therapy

971 N. Altadena Dr
Pasadena, CA 91107

Sheet Title
ROOF PLAN

Sheet Number
A2.13

3655 Centinela Ave
Los Angeles, CA 90066



01 NORTH EAST ELEVATION - MAIN ENTRY FACADE
SCALE: 1/4"=1'-0"

971 N. Altadena Dr
Pasadena, CA 91107

[illegible]

Notes | Revisions

these drawings, specifications, ideas, designs, and arrangements presented hereby are and shall remain the property of SpaceLab+. No part thereof shall be copied, disclosed to others or used in connection with any work or project other than the specific project for which they were prepared and developed without the written consent of SpaceLab+. Visual contact with these drawings or specifications shall constitute conclusive evidence of acceptance of these restrictions.

Sheet Title

ELEVATIONS

Sheet Number

A3.10

APPLICATIONS



CITY PLANNING APPLICATION

THIS BOX FOR CITY PLANNING STAFF USE ONLY

☐ ED1 Eligible

☐ AB 2097 Eligible

Case Number:

CPC 2025-4636-C03

Env. Case Number:

ENV 2025-4637-CE

Application Type:

Conditional USE class 3

Case Filed With (Print Name):

Maira Sanchez

Date Filed:

8/18/25

Application includes letter requesting:

☐ Waived Hearing

☐ Concurrent hearing

☐ Hearing not to be scheduled on a specific date (e.g. vacation hold)

Related Case Number(s):

THIS SECTION TO BE COMPLETED BY THE APPLICANT

Provide all information requested. Missing, incomplete or inconsistent information will cause delays.

All terms in this document are applicable to the singular as well as the plural forms of such terms.

Refer to the City Planning Application Filing Instructions ([CP13-7810](#)) for more information.

1. PROJECT LOCATION

Street Address¹: 3655-3681 S. Centinela Ave. & 12412 W. Windward Ave.

Unit/Space Number:

Legal Description² (Lot, Block, Tract):

Lots FR 68, FR 67, FR 66, FR 65, FR, 64, Block None, Tract 6052

Assessor Parcel Number: 4246-009-002

Total Lot Area: 25,365 sf; 0.582 ac.

2. PROJECT DESCRIPTION

Present Use: Church

Proposed Use: School

Project Name (if applicable): Frostig School, Louma G Campus

¹ Street Addresses must include all addresses on the subject/application site (as identified in ZIMAS—<http://zimas.lacity.org>).

² Legal Description must include all contiguously owned properties (even if they are not a part of the proposed project site).

Describe in detail the characteristics, scope and/or operation of the proposed project:

The Project involves the reuse of a church building as an independent private school that provides specialized education to children. The existing 15,408-square foot building will remain and be improved to meet all current technical codes and other requirements for an independent private school. The school will have an enrollment of 30 students initially with a maximum of up to 80 students in the future. See attached for additional information.

Additional Information Attached:

☒ YES ☐ NO

EXISTING SITE CONDITIONS

Complete and check all that apply:

- | | |
|---|---|
| <input type="checkbox"/> Site is undeveloped or unimproved (i.e., vacant) | <input type="checkbox"/> Site is located within 500 feet of a freeway or railroad |
| <input checked="" type="checkbox"/> Site has existing buildings (provide copies of building permits) | <input type="checkbox"/> Site is located within 500 feet of a sensitive use (e.g., school, park) |
| <input type="checkbox"/> Site is/was developed with uses that could release hazardous materials on soil and/or groundwater (e.g., dry cleaning, gas station, auto repair, industrial) | <input type="checkbox"/> Site has special designation (e.g., National Historic Register, Survey LA) |

PROPOSED PROJECT INFORMATION

Check all that apply or could apply:

- | | |
|---|---|
| <input type="checkbox"/> Demolition of existing buildings/structures | <input type="checkbox"/> New construction: _____ square feet |
| <input type="checkbox"/> Relocation of existing buildings/structures | <input type="checkbox"/> Additions to existing buildings |
| <input type="checkbox"/> Removal of any on-site tree | <input checked="" type="checkbox"/> Interior tenant improvement |
| <input type="checkbox"/> Removal of any street tree | <input type="checkbox"/> Exterior renovation or alteration |
| <input type="checkbox"/> Removal of protected trees onsite/in public right-of-way | <input checked="" type="checkbox"/> Change of use and/or hours of operation |
| <input type="checkbox"/> Grading | <input type="checkbox"/> Uses or structures in public right-of-way |
| <input type="checkbox"/> Haul Route | <input type="checkbox"/> Phased project |

HOUSING COMPONENT INFORMATION

Number of Residential Units: Existing _____ - Demolish(ed)³ _____ + Adding _____ = Total _____

Number of Affordable Units⁴: Existing _____ - Demolish(ed) _____ + Adding _____ = Total _____

Number of Market Rate Units: Existing _____ - Demolish(ed) _____ + Adding _____ = Total _____

Mixed Use Projects, Amount of Non-Residential Floor Area: _____ square feet

³ Number of units to be demolished and/or which have been demolished within the last five years.

⁴ As determined by the Los Angeles Housing Department.

PARKING INFORMATION

Is the project utilizing AB 2097?

☒ YES ☐ NO

If Yes, provide a date-stamped ZIMAS Parcel Profile Report including AB 2097 Eligibility information.

Provided # of Parking Spaces: _____ Required # of Parking Spaces: _____

Parking Minimum Checklist

The following checklist will determine if parking minimums can be imposed on a Project under AB 2097. Parking minimums cannot be imposed if the proposed project meets any of the following criteria.

Check all that apply:

- ☐ Include a minimum of 20 percent of the total dwelling units for Very Low, Low, or Moderate-Income households, students, the elderly, or persons with disabilities
- ☐ Contain fewer than 20 dwelling units
- ☐ Are subject to parking reductions of any other applicable law (by satisfying the applicable eligibility requirements)

PUBLIC RIGHT-OF-WAY INFORMATION

Have you submitted the [Planning Case Referral Form](#) to BOE? (if required)

☐ YES ☒ NO

Is the project required to dedicate land to the public right-of-way?

☐ YES ☒ NO

If so, what is/are the dedication requirement(s)? _____ feet

If dedications are required on multiple streets, identify as such: _____

3. ACTION(S) REQUESTED

Provide the Los Angeles Municipal Code (LAMC) Section that authorizes the request and (if applicable) the LAMC Section or the Specific Plan/Overlay Section from which relief is sought, and follow with a description of the requested action.

Does the project include Multiple Approval Requests per LAMC Section 13A.2.10. of Chapter 1A?

☐ YES ☒ NO

Authorizing Code Section: LAMC Section 12.24.U.24

Code Section from which relief is requested (if any): _____

Action Requested: A Class 3 Conditional Use Permit to allow a private elementary and high school in the RD1.5 Zone.

Authorizing Code Section: _____

Code Section from which relief is requested (if any): _____

Action Requested: _____

Additional Requests Attached: ☐ YES ☒ NO

4. RELATED CITY PLANNING CASES

Are there previous or pending cases/decisions/environmental clearances on the project site? ☒ YES ☐ NO

If YES, list all case number(s): See attached.

If the application/project is directly related to one of the above cases, list the pertinent case numbers below and complete/check all that apply (provide copy).

Case No.: _____ Ordinance No.: _____

- | | |
|--|---|
| <input type="checkbox"/> Condition Compliance Review | <input type="checkbox"/> Clarification of Q (Qualified) Condition |
| <input type="checkbox"/> Modification of Conditions | <input type="checkbox"/> Clarification of D (Development) Limitation |
| <input type="checkbox"/> Revision of Approved Plans | <input type="checkbox"/> Amendment to T (Tentative) Classification |
| <input type="checkbox"/> Renewal of Entitlement | <input type="checkbox"/> Plan Approval subsequent to Main Conditional Use |

For purposes of environmental (CEQA) analysis, is there intent to develop a larger project? ☐ YES ☒ NO

Have you filed, or is there intent to file, a Subdivision with this project? ☐ YES ☒ NO

If YES, to either of the above, describe the other parts of the projects or the larger project below, whether or not currently filed with the City:

5. RELATED DOCUMENTS / REFERRALS

To help assigned staff coordinate with other Departments that may have a role in the proposed project, provide a copy of any applicable form and reference number if known.

Are there any recorded Covenants, affidavits or easements on this property?

☐ YES (provide copy) ☐ NO

6. PROJECT TEAM INFORMATION (COMPLETE ALL APPLICABLE FIELDS)

APPLICANT

Applicant⁵ Name: Dr. Jennifer Tucker Mottes, Ph.D
Company/Firm: The Marianne Frostig Center for Educational Therapy
Address: 971 N. Altadena Dr. Unit/Space Number: _____
City: Pasadena State: CA Zip Code: 91107
Telephone: (626) 791-1255 E-mail: jenny@frostig.org

Are you in escrow to purchase the subject property?: ☐ YES ☒ NO

PROPERTY OWNER OF RECORD ☒ Same as applicant ☐ Different from applicant

Name (if different from applicant): _____
Address: _____ Unit/Space Number: _____
City: _____ State: _____ Zip Code: _____
Telephone: _____ E-mail: _____

AGENT / REPRESENTATIVE NAME: Dale Goldsmith
Company/Firm: Armbruster Goldsmith & Delvac LLP
Address: 12100 Wilshire Boulevard Unit/Space Number: 1600
City: Los Angeles State: CA Zip Code: 90025
Telephone: (310) 209-8800 E-mail: dale@agd-landuse.com

⁵ An applicant is a person with a lasting interest in the completed project such as the property owner or a lessee/user of a project.
An agent/representative is someone filing an application on behalf of a client.

OTHER (E.G. ARCHITECT, ENGINEER, CEQA CONSULTANT): _____

Name: _____

Company/Firm: _____

Address: _____ **Unit/Space Number:** _____

City: _____ **State:** _____ **Zip Code:** _____

Telephone: _____ **E-mail:** _____

Primary Contact for Project Information⁶

(Select only one. Email address and phone number required.)

☐ Owner ☐ Applicant ☒ Agent/Representative ☐ Other: _____

To ensure notification of any public hearing as well as decisions on the project, make sure to include an individual mailing label for each member of the project team in both the Property Owners List and the Abutting Property Owners List.


⁶ As of June 8, 2022, the Primary Contact for Project is required to have an Angeleno Account and register with the Ethics Commission for Significant Project Entitlements, as defined in LAMC Section [49.7.37\(A\)\(6\)](#). An email address and phone number shall be required on the DCP Application Form, and the email address provided shall match the email address used to create the Angeleno Account.

PROPERTY OWNER AFFIDAVIT

Before the application can be accepted, the owner of each property involved must provide a notarized signature to verify the application is being filed with their knowledge. Staff will confirm ownership based on the records of the City Engineer or County Assessor. In the case of partnerships, corporations, LLCs or trusts an officer of the ownership entity so authorized may sign as stipulated below.

- **Ownership Disclosure.** If the property is owned by a partnership, corporation, LLC or trust, a disclosure identifying an officer of the ownership entity must be submitted. The disclosure must list the names and addresses of the principal owners (25% interest or greater). The signatory must appear in this list of names. A letter of authorization, as described below, may be submitted provided the signatory of the letter is included in the Ownership Disclosure. Include a copy of the current partnership agreement, corporate articles, or trust document as applicable.
- **Letter of Authorization (LOA).** An LOA from a property owner granting someone else permission to sign the application form may be provided if the property is owned by a partnership, corporation, LLC or trust or in rare circumstances when an individual property owner is unable to sign the application form. To be considered for acceptance, the LOA must indicate the name of the person being authorized the file, their relationship to the owner or project, the site address, a general description of the type of application being filed and must also include the language in items A-D below. In the case of partnerships, corporations, LLCs or trusts the LOA must be signed and notarized by the authorized signatory as shown on the Ownership Disclosure or in the case of private ownership by the property owner. Proof of Ownership for the signatory of the LOA must be submitted with said letter.
- **Grant Deed.** Provide a Copy of the Grant Deed If the ownership of the property does not match City Records and/or if the application is for a Coastal Development Permit. The Deed must correspond exactly with the ownership listed on the application.
- **Multiple Owners.** If the property is owned by more than one individual (e.g. John and Jane Doe or Mary Smith and Mark Jones) notarized signatures are required of all owners.
 - a. I hereby certify that I am the owner of record of the herein previously described property located in the City of Los Angeles which is involved in this application or have been empowered to sign as the owner on behalf of a partnership, corporation, LLC or trust as evidenced by the documents attached hereto.
 - b. I hereby consent to the filing of this application on my property for processing by the Department of City Planning.
 - c. I understand if the application is approved, as a part of the process the City will apply conditions of approval which may be my responsibility to satisfy including, but not limited to, recording the decision and all conditions in the County Deed Records for the property.
 - d. By my signature below, I declare under penalty of perjury under the laws of the State of California that the foregoing statements are true and correct.

*Property Owner's signatures must be signed/notarized in the presence of a Notary Public.
The City requires an original signature from the property owner with the "wet" notary stamp.
A Notary Acknowledgement is available for your convenience on following page.*

Signature: 

Date: 7/18/25

Print Name: Dr. Jenny Tucker Mottes, Ph.D

Signature: _____

Date: _____

Print Name: _____

SPACE BELOW FOR NOTARY'S USE

CALIFORNIA ALL-PURPOSE ACKNOWLEDGEMENT

CIVIL CODE '1189

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document, to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

State of California

County of LOS ANGELES

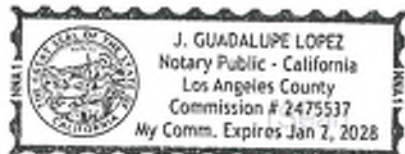
On 07/18/2025 before me, J. GUADALUPE LOPEZ NOTARY PUBLIC
(Insert Name of Notary Public and Title)

personally appeared JENNIFER TUCKER MOTTES, who
proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are
subscribed to the within instrument and acknowledged to me that he/she/they executed the same
in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the
person(s), or the entity upon behalf on which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing
paragraph is true and correct.

WITNESS my hand and official seal.

J. Lopez
Signature



APPLICANT DECLARATION

A separate signature from the applicant, whether they are the property owner or not, attesting to the following, is required before the application can be accepted.

- a. I hereby certify that the information provided in this application, including plans and other attachments, is accurate and correct to the best of my knowledge. Furthermore, should the stated information be found false or insufficient to fulfill the requirements of the Department of City Planning, I agree to revise the information as appropriate.
- b. I hereby certify that I have fully informed the City of the nature of the project for purposes of the California Environmental Quality Act (CEQA) and have not submitted this application with the intention of segmenting a larger project in violation of CEQA. I understand that should the City determine that the project is part of a larger project for purposes of CEQA, the City may revoke any approvals and/or stay any subsequent entitlements or permits (including certificates of occupancy) until a full and complete CEQA analysis is reviewed and appropriate CEQA clearance is adopted or certified.
- c. I understand that the environmental review associated with this application is preliminary, and that after further evaluation, additional reports, studies, applications and/or fees may be required.
- d. I understand and agree that any report, study, map or other information submitted to the City in furtherance of this application will be treated by the City as public records which may be reviewed by any person and if requested, that a copy will be provided by the City to any person upon the payment of its direct costs of duplication.
- e. I understand that the burden of proof to substantiate the request is the responsibility of the applicant. Additionally, I understand that planning staff are not permitted to assist the applicant or opponents of the project in preparing arguments for or against a request.
- f. I understand that there is no guarantee, expressed or implied, that any permit or application will be granted. I understand that each matter must be carefully evaluated and that the resulting recommendation or decision may be contrary to a position taken or implied in any preliminary discussions.
- g. I understand that if this application is denied, there is no refund of fees paid.
- h. I understand and agree to defend, indemnify, and hold harmless, the City, its officers, agents, employees, and volunteers (collectively "City"), from any and all legal actions, claims, or proceedings (including administrative or alternative dispute resolution (collectively "actions")), arising out of any City process or approval prompted by this Action, either in whole or in part. Such actions include but are not limited to: actions to attack, set aside, void, or otherwise modify, an entitlement approval, environmental review, or subsequent permit decision; actions for personal or property damage; actions based on an allegation of an unlawful pattern and practice; inverse condemnation actions; and civil rights or an action based on the protected status of the petitioner or claimant under state or federal law (e.g. ADA or Unruh Act). I understand and agree to reimburse the City for any and all costs incurred in defense of such actions. This includes, but is not limited to, the payment of all court costs and attorneys' fees, all judgments or awards, damages, and settlement costs. The indemnity language in this

paragraph is intended to be interpreted to the broadest extent permitted by law and shall be in addition to any other indemnification language agreed to by the applicant.

- i. I understand that the City is protected by numerous statutory immunities from liability for damages that may be caused by its land use regulatory actions, as set forth in Government Code, section 818, et seq. For instance, the City cannot be held liable for personal or property injuries or damages allegedly caused by its approval and issuance of any discretionary permit, entitlement or approval (Gov. Code § 818.4), or its failure to inspect or its negligence in inspecting a property for the purpose of determining whether the property complies with or violates any permit, entitlement or approval or contains or constitutes a hazard to health or safety (Gov. Code § 818.6).
- j. By my signature below, I declare under penalty of perjury, under the laws of the State of California, that all statements contained in this application and any accompanying documents are true and correct, with full knowledge that all statements made in this application are subject to investigation and that any false or dishonest answer to any question may be grounds for denial or subsequent revocation of license or permit.

The City requires an original signature from the applicant. The applicant's signature below does not need to be notarized.

Signature: _____

Date: _____

Print Name: _____

NEIGHBORHOOD CONTACT SHEET (OPTIONAL)

7. SIGNATURES

Signatures of adjoining or neighboring property owners in support of the request are not required but are helpful, especially for projects in single-family residential areas. Signatures may be provided below (attach additional sheets if necessary).

NAME (Print)	SIGNATURE	ADDRESS	KEY # ON MAP

REVIEW of the project by the applicable Neighborhood Council is not required but is helpful. If applicable, describe, below or separately, any contact you have had with the Neighborhood Council or other community groups, business associations and/or officials in the area surrounding the project site (attach additional sheets if necessary).