

## **POLICY MOTION**

### **COMMITTEE: Planning & Land Use Management (PLUM)**

**TITLE:** Support for 3655 Centinela Ave – Change of Use from Church to Private school (Frostig School)

#### **BACKGROUND:**

Change of use and renovation of the former Church to a Private school for children with Learning differences. Students range from Elementary to High School. The property was purchased by the school in early 2025 with the intent to open a second campus in West Los Angeles campus. The property consists of a ±13,400 sf building with a classrooms, gym and auditorium. The grounds have an existing surface parking lot that will be partially retained with approximately 23 spaces, the remainder will be converted in to a fenced outdoor play area.

This project was presented to the PLUM committee on 11/13/25. It was mentioned that the school appears to be a low impact, positive use for the site and no major objections were raised.

#### **THE MOTION:**

The MVCC is in support of the proposed Change of Use located at 3655 Centinela Ave from Church to Private school  
as presented to the board on 01/22/2026

#### **DIRECTED TO:**

- City of Los Angeles Department of City Planning  
Attn: Phillip Bazan - Expedited Processing; Management Analyst.  
[Phillip.bazan@lacity.org](mailto:Phillip.bazan@lacity.org)
- City Clerk
- Office of Councilmember-Traci Park CD-11  
Attn: Jeff Khau- Planning Deputy  
[Jeff.Khau@lacity.org](mailto:Jeff.Khau@lacity.org)  
Attn: Matt Haden – Mar Vista Field deputy  
[Matt.Haden@lacity.org](mailto:Matt.Haden@lacity.org)

#### **ACTION/VOTE COUNT:**

MVCC PLUM Committee meeting, Noveber 13, 2025

Motion by Blue, second by Hedge

Vote 11 yeas, 0 no

- Yeas- Blue, Hedge, Paddock, 8 Community members

MVCC Board Meeting, January 22, 2026

Motion of Support moved by Director XXX, seconded by Director XXX

Motion of Support approved by the MVCC Board XX-XX-XX

Case Number

Ordinance

Zoning Information

Case Number:

CPC-2025-4636-CU3

Search

Approved Documents

Initial Submittal Documents

3 Initial Submittal Documents found for Case Number: CPC-2025-4636-CU3

Type	Scan Date	
▶ Application	8/18/2025	<a href="#">View</a>
▶ Plot Plan	8/18/2025	<a href="#">View</a>
▶ Project Plans	8/18/2025	<a href="#">View</a>

**Case Number:** CPC-2025-4636-CU3**Case Filed On:** 08/18/2025**Accepted For Review On:****Assigned Date:** 08/19/2025**Staff Assigned:** PHILLIP BAZAN**Hearing Waived / Date Waived :** No**Hearing Location:****Hearing Date :****CPC Action:****CPC Action Date:****End of Appeal Period:****Appealed:** No**BOE Reference Number:** 0**Case on Hold?:** Yes**Primary Address**

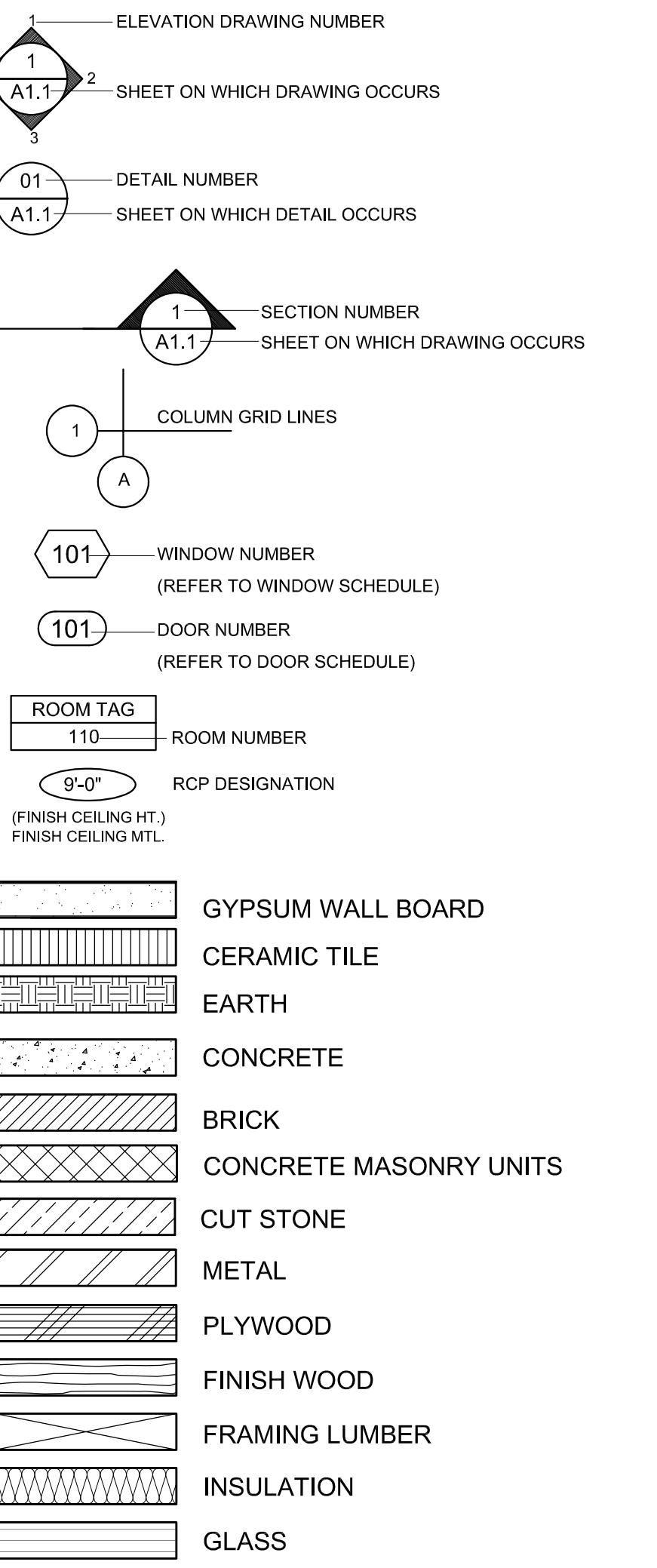
Address	CNC	CD
3655 S CENTINELA AVE	Mar Vista	CD 11

[View All Addresses](#)**Project Description:** The project is a change of use from Church to private elementary and high school in the [Q]RD1.5-1 Zone.**Applicant:** Dr. Jennifer Tucker Mottes [Company: The Marianne Frosting Care Center for Educational Therapy]**Representative:** Dale Goldsmith [Company: Ambruster Goldsmith & Delvac LLP][View Related Cases](#)

## ABBREVIATIONS

ABBREVIATIONS						
ABV	ABOVE	FLG	FLASHING	PT	PAINT	
A.F.F.	ABOVE FINISHED FLOOR	FLEX	FLEXIBLE	PTD	PAINTED	
ACC	ACCESS	FL	FLOOR(ING)	PNL	PANEL	
AC	ACOUSTICAL	FD	FLOOR DRAIN	PAR	PARALLEL	
AD	AREA DRAIN	FPL	FLOOR PLATE	PBD	PARTICLE BOARD	
ADD	ADDENDUM	FJT	FLUSH JOINT	PTN	PARTITION	
ADH	ADHESIVE	FTG	FOOTING	PVMT	PAVEMENT	
ADJ	ADJACENT	FND	FOUNDATION	PERI	PERIMETER	
AGG	AGGREGATE	FR	FRAME(ING)	PV	PHOTOVOLTAIC	
ALT	ALTERNATE	FBO	FINISH BY OTHERS	PCS	PIECES	
AL	ALUMINUM	FUR	FURRED(ING)	PLAS	PLASTER	
ARCH	ARCHITECT[URAL]	FUT	FUTURE	PLAM	PLASTIC LAMINATE	
AUTO	AUTOMATIC	GA	GAUGE	PL	PLATE	
BSMT	BASEMENT	GV	GALVANIZED	PLUMB	PLUMBING	
BM	BENCH MARK	GC	GENERAL CONTRACTOR	PLYWD	PLYWOOD	
BEL	BELOW	GL	GLASS(GLAZING)	PT	POINT	
BHD	BEHIND	GD	GRADE(ING)	PVC	POLYVINYL CHLORIDE	
BTWN	BETWEEN	GRV	GRAVEL	PL	PROPERTY LINE	
BVL	BEVELED	GT	GROUT	PT	PRESSURE TREATED	
BIT	BITUMINOUS	GYP	GYPSUM	RAD	RADIUS	
BLKG	BLOCKING	GYPBD	GYPSUM	RL	RAIL(ING)	
BD	BOARD		WALLBOARD	REC	RECOMMENDED	
BOTT	BOTTOM			REF	REFRIGERATOR	
B.O.	BOTTOM OF			REG	REGISTER	
BLDG	BUILDING	HW	HARDWARE	REINF	REINFORCE(D)(ING)	
BYD	BEYOND	HDWD	HARDWOOD	REM	REMOVE	
CAB	CABINET	HTG	HEATING	REQ	REQUIRED	
CB	CATCH BASIN	HVAC	HEATING/	RF	RESILIENT FLOORING	
CPT	CARPET(ED)		VENTILATING/	RET	RETURN	
CSMT	CASEMENT		AIR CONDITIONING	REV	REVISE(D)(ION)	
CI	CAST IRON	HT	HEIGHT	RH	RIGHT HAND	
CIP	CAST IN PLACE	HORIZ	HORIZONTAL	ROW	RIGHT OF WAY	
CB	CATCH BASIN	HB	HOSE BIBB	R	RISER	
CLK	CAULK(ING)	HWH	HOT WATER HEATER	RD	ROOF DRAIN	
CLG	CEILING			RM	ROOM	
CEM	CEMENT			RO	ROUGH OPENING	
CER	CERAMIC	INCL	INCLUDE(D)(ING)			
CIR	CIRCLE	INS	INSULATE(D)(ION)	SB	SPLASH BLOCK	
CIRC	CIRCUMFERENCE	INT	INTERIOR	SCHED	SCHEDULE(D)	
CLR	CLEAR(ANCE)	INTM	INTERMEDIATE	SF	SQUARE FEET	
COL	COLUMN			SLNT	SEALANT	
COMB	COMBINATION			SEC	SECTION	
COMPO	COMPOSITION	JC	JANITOR CLOSET	SHTG	SHEATHING	
CONC	CONCRETE	JF	JOINT FILLER	SHT	SHEET	
CMU	CONCRETE MASONRY UNIT	J	JOIST	SH	SHELF(VING)	
CONST	CONSTRUCTION			SIM	SIMILAR	
CONT	CONTINUE	KPL	KICK PLATE	SKYL	SKYLIGHT	
CONTR	CONTRACT(OR)	KITCH	KITCHEN	SC	SOLID CORE	
CJT	CONTROL JOINT	KO	KNOCK OUT	SPEC	SPECIFICATION(S)	
CG	CORNER GUARD			SQ	SQUARE	
CTR	COUNTER			ST STL	STAINLESS STEEL	
CFL	COUNTERFLASHING	LBL	LABEL(ED)	STBK	SETBACK	
CS	COUNTERSINK	LAB	LABORATORY	STD	STANDARD	
CRS	COURSE(S)	LAD	LADDER	STN	STONE	
CRG	CROSS GRAIN	LB	LAG BOLT	SD	STORM DRAIN	
		LAM	LAMINATE(D)	STRUCT	STRUCTURAL	
DL	DEAD LOAD	LH	LEFT HAND	SUB	SUB CONTRACTOR	
DEMO	DEMOLISH(ED)	L	LENGTH	SYM	SYMMETRICAL	
DEP	DEPRESSION	LT	LIGHT			
DTL	DETAIL	LTWT	LIGHT WEIGHT	T.O.	TOP OF	
DG	DECOMPOSED GRANITE	LL	LIVE LOAD	TEL	TELEPHONE	
DIAG	DIAGRAM	LVR	LOUVER	TC	TERRA COTTA	
DIAM	DIAMETER			THK	THICKNESS	
DIM	DIMENSION			THR	THRESHOLD	
DIV	DIVISION	MB	MACHINE BOLT	TL	TILE	
DR	DOOR	MFR	MANUFACTURE(R)	TOL	TOLERANCE	
DH	DOUBLE HUNG	MAS	MASONRY	T&G	TONGUE AND GROOVE	
DS	DOWNSPOUT	MAT	MATERIAL	T&B	TOP AND BOTTOM	
DRN	DRAIN	MAX	MAXIMUM	T.O.S.	TOP OF SLAB	
DW	DISHWASHER	MECH	MECHANICAL	T.O.W.	TOP OF WALL	
DWR	DRAWER	MED	MEDIUM	TB	TOWEL BAR	
DWG	DRAWING	MMB	MEMBRANE	T	TREAD	
		MTL	METAL	TYP	TYPICAL	
(E)	EXISTING	MWK	MILLWORK	TS	TUBE STEEL	
ELEC	ELECTRIC(AL)	MIN	MINIMUM			
EL	ELEVATION	MISC	MISCELLANEOUS			
ENCL	ENCLOSE(URE)	MOD	MODULAR	UNF	UNFINISHED	
EQ	EQUAL	MLD	MOLDING	UNO	UNLESS NOTED OTHERWISE	
EQUIV	EQUIVALENT	MT	MOUNT(ED)(ING)			
EQUIP	EQUIPMENT	MOV	MOVABLE			
EST	ESTIMATE	MULL	MULLION			
EXC	EXCAVATE			VB	VAPOR BARRIER	
EXH	EXHAUST			VAR	VARNISH	
EXIST	EXISTING	(N)	NEW	VNR	VENEER	
EXP	EXPOSED	NAT	NATURAL	VERT	VERTICAL	
EXT	EXTERIOR	NEC	NECESSARY	VIN	VINYL	
F.O.	FACE OF	NOM	NOMINAL	VB	VINYL BASE	
F.O.C.	FACE OF CONC	NIC	NOT IN CONTRACT	VT	VINYL TILE	
F.O.F.	FACE OF FINISH	N.T.S.	NOT TO SCALE			
F.O.M.	FACE OF MASONRY			WH	WATER HEATER	
F.O.S.	FACE OF STUD	O/	OVER	WTW	WALL TO WALL	
F.O.V.	FLOOD OPENING/VENT	OC	ON CENTER	WC	WATER CLOSET	
F.O.W.	FACE OF WALL	OP	OPAQUE	WP	WATER PROOF(ING)	
FF	FACTORY FINISH	OPNG	OPENING	WWF	WELDED WIRE FABRIC	
FAST	FASTEN(ER)	OPP	OPPOSITE	W	WIDTH	
FIN	FINISH(ED)	OPPH	OPPOSITE HAND	WIN	WINDOW	
FIN FL	FINISH FLOOR			WM	WATER METER	
FPL	FIREPLACE			W	WITH	
				W/O	WITHOUT	
				WD	WOOD	
				WI	WROUGHT IRON	

## SYMBOLS



## PROJECT DIRECTORY

Owner:  
The Marianne Frostig Center  
for Educational Therapy

Dr. Jenny Tucker Mottes  
971 N. Altadena Drive  
Pasadena, CA 91107  
Phone: 626.791.1255  
Email: jenny@frostig.org

Architect:  
SPACELAB+  
Claudia Kessner  
181 Ramona Place  
Pasadena, CA 91107  
Phone: 323.646.1426  
Email: claudia@spacelabplus.com

Surveyor:  
Surveying and Drafting Services, Inc.  
901 Seward Street  
Los Angeles, CA 90038  
Phone: 323.366.2882

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## PROJECT DATA

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EXISTING BUILDING:

GROSS AREA:	FLOOR AREA
FIRST FLOOR:	7,462 SF
SECOND FLOOR:	4,250 SF
BASEMENT:	3,664 SF
<b>TOTAL:</b>	<b>15,376 SF</b>
	<b>TOTAL:</b>

LOT AREA:

GROSS:	29,915 SF
NET (EXCL PUBLIC EASEMENTS):	25,379 SF

FAR:  
Floor area/ net lot area= FAR  
13,374 SF/ 25,379 SF= 0.53

# FROSTIG SCHOOL WEST

## PROJECT DESCRIPTION:

CHANGE IN USE FROM CHURCH TO SCHOOL.  
RENOVATION OF AN EXISTING 2 STORY BUILDING PLUS  
BASEMENT INTO A SCHOOL W/ 10 CLASSROOMS. EXISTING  
GYM IN BASEMENT TO REMAIN. CREATION OF AN OPEN  
REC SPACE.

## APPLICABLE CODES:

CITY of LOS ANGELES MUNICIPAL CODE  
2023 CITY OF LOS ANGELES BUILDING CODE (LABC)  
2023 LOS ANGELES GREEN BUILDING CODE (LAGBC)  
2022 LOS ANGELES FIRE CODE (LAFC)  
2022 CALIFORNIA BUILDING CODE (CBC)  
2022 CALIFORNIA ENERGY CODE  
2023 LOS ANGELES ELECTRICAL CODE  
2023 LOS ANGELES PLUMBING CODE  
2023 LOS ANGELES MECHANICAL CODE

## PROJECT DATA

## SHEET INDEX

<u>EXISTING BUILDING:</u>				<u>GENERAL</u>	
<u>ROSS AREA:</u>		<u>FLOOR AREA:</u>		T1.00	TITLE SHEET & PROJECT DATA
FIRST FLOOR:	7,462 SF	FIRST FLOOR:	6,568 SF	T1.10	SITE CONTEXT
SECOND FLOOR:	4,250 SF	SECOND FLOOR:	3,789 SF	T1.20	BUILDING SITE PHOTOS
BASEMENT:	3,664 SF	BASEMENT:	3,017 SF	A1.00	SITE PLAN
TOTAL:	15,376 SF	TOTAL:	13,374 SF	A1.10	TREE INVENTORY PLAN
LOT AREA:				D2.10	FIRST FLOOR DEMO PLAN
ROSS:	29,915 SF			D2.20	SECOND FLOOR DEMO PLAN
NET (EXCL PUBLIC EASEMENTS):	25,379 SF			A2.10	FIRST FLOOR FLOOR PLAN
				A2.11	SECOND FLOOR PLAN
				A2.12	BASEMENT PLAN
				A3.10	EXTERIOR ELEVATION

## LEGAL DESCRIPTION

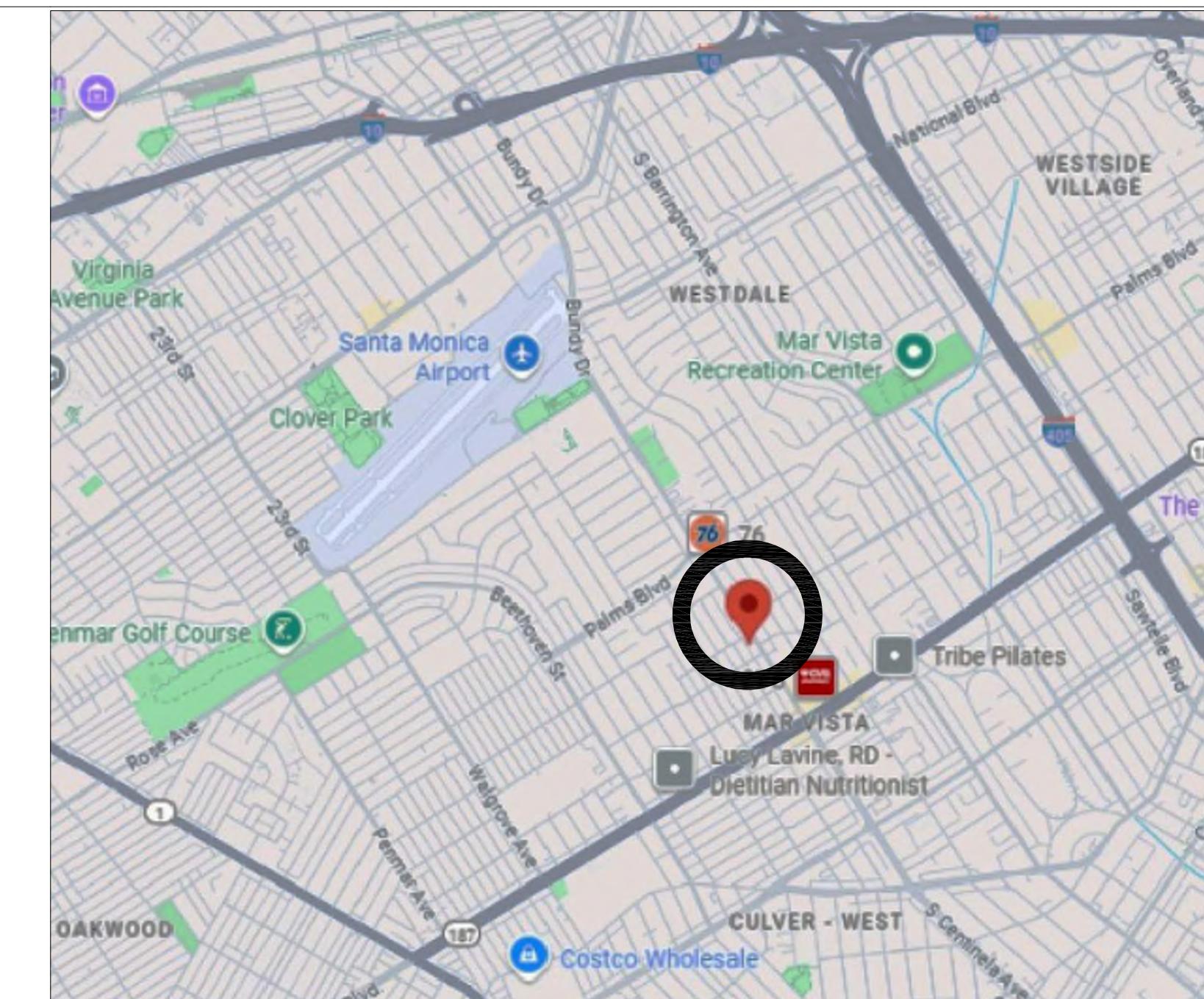
## VICINITY MAP

OTS 64, 65, 66, 67 AND 68, INCLUSIVE, OF TRACT NO. 6052, AS PER MAP  
RECORDED ON APRIL 25, 1923 IN BOOK 67, PAGES 71 AND 72 OF MAPS, IN THE  
OFFICE OF THE COUNTY RECORDER OF LOS ANGELES COUNTY.

REFERENCE DOCUMENT FOR LEGAL DESCRIPTION AND EASEMENTS:  
OLD REPUBLIC TITLE COMPANY ALTA COMMITMENT FOR TITLE INSURANCE, ORDER NO.  
202074474, DATED NOVEMBER 20, 2024.

- SITE ADDRESS: 3655 S. CENTINELA AVENUE  
LOS ANGELES CA 90066.
- ASSESSOR'S PARCEL NUMBER: 4246-009-022
- GROSS AREA: 29,915 SQ. FT. 0.687 ACRE  
NET AREA (EXCLUDING PUBLIC STREET EASEMENTS): 25,379 SQ. FT. 0.583 ACRE
- EXISTING PARKING SPACES: NO PARKING REQUIRED, SITE WITH AB2097  
4 HANDICAP STALLS  
21 STANDARD STALLS  
23 COMPACT STALLS
- CURRENT ZONING:  
RD1.5-1 (RESTRICTED DENSITY MULTIPLE DWELLING)
- BUILDING RESTRICTIONS PER ZONE:  
SETBACKS:  
FRONT: 15 FEET  
SIDE: 5 FT; OR 10% OF LOT WIDTH WHERE LOT IS LESS THAN <50 FT WIDE; 3 FT MIN;  
1 FT FOR EACH STORY OVER 2nd, NOT TO EXCEED 16 FEET.  
DEEP: 15 FEET

WEIGHT LIMIT: 45 FEET  
LOOR AREA RATIO: 3:1



**OWNER**  
The Marianne Frostig Center for  
Educational Therapy

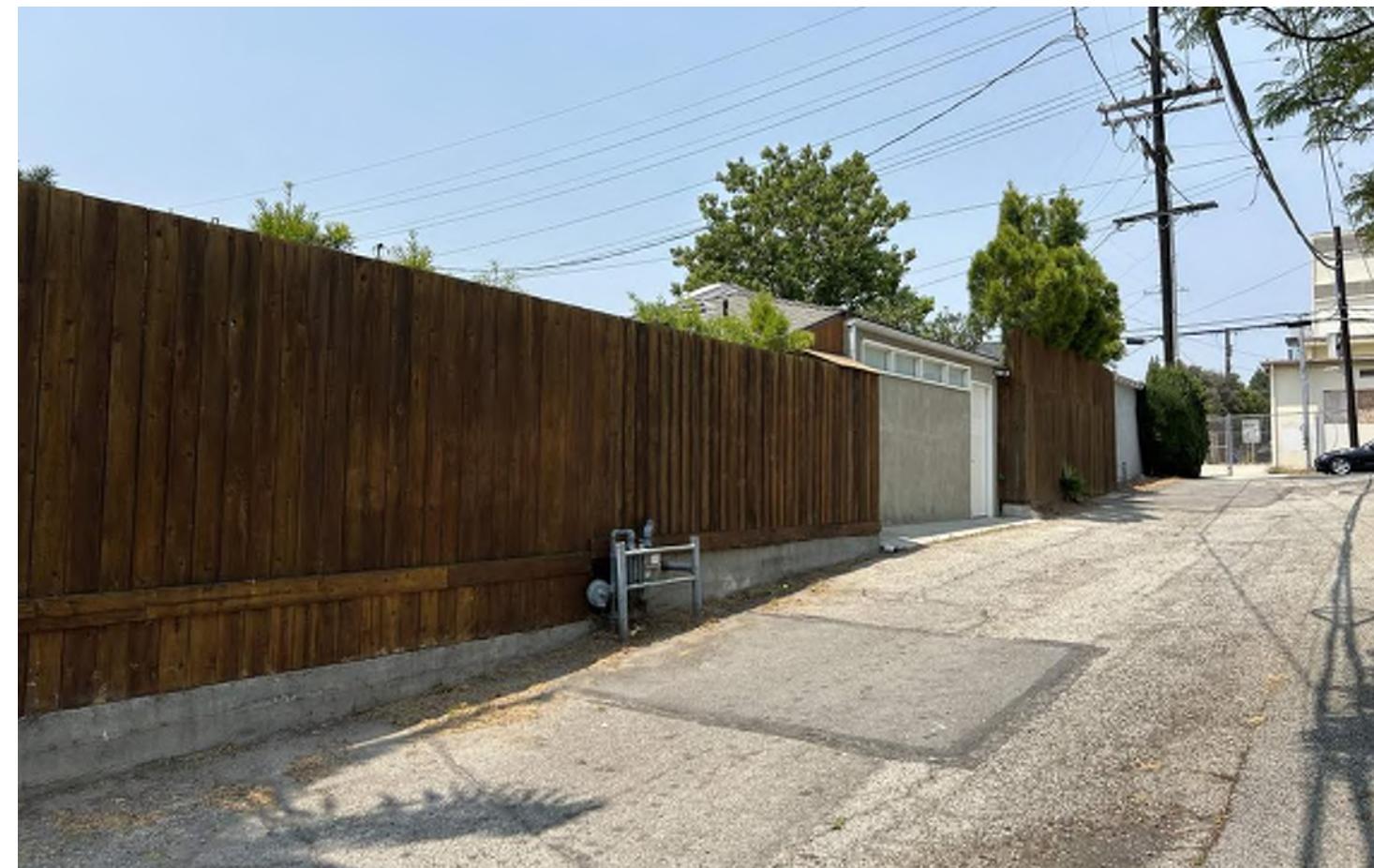
971 N. Altadena Dr  
Pasadena, CA 91107

# Sheet Title

meet Num  
T1 . 00



PHOTOGRAPH 8



PHOTOGRAPH 7



PHOTOGRAPH 6



PHOTOGRAPH 5



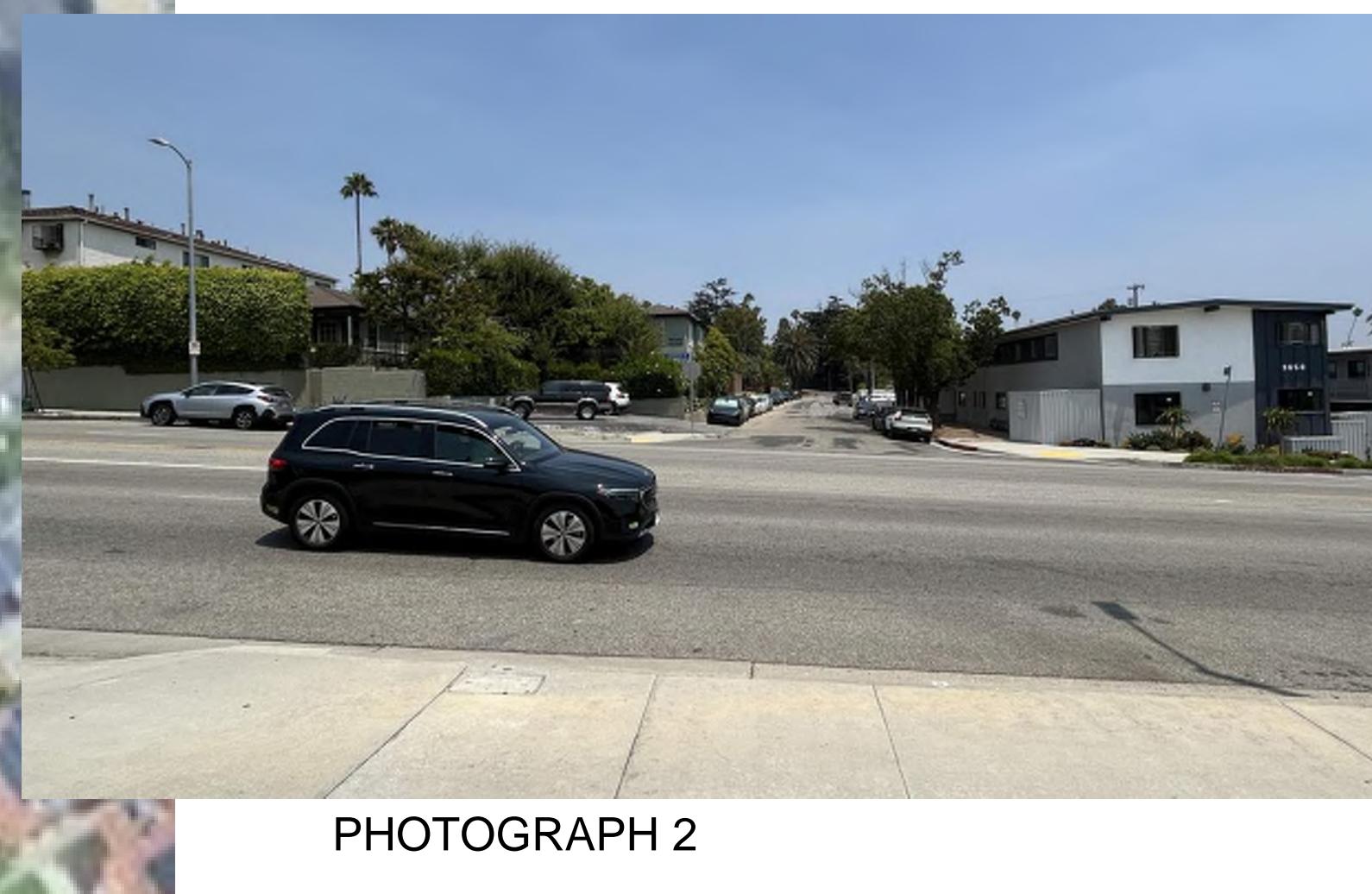
PHOTOGRAPH 9



PHOTOGRAPH 10



PHOTOGRAPH 1



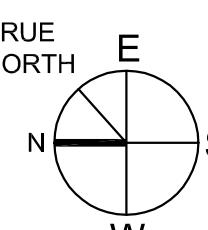
PHOTOGRAPH 2



PHOTOGRAPH 3



PHOTOGRAPH 4





PHOTOGRAPH 7



PHOTOGRAPH 8

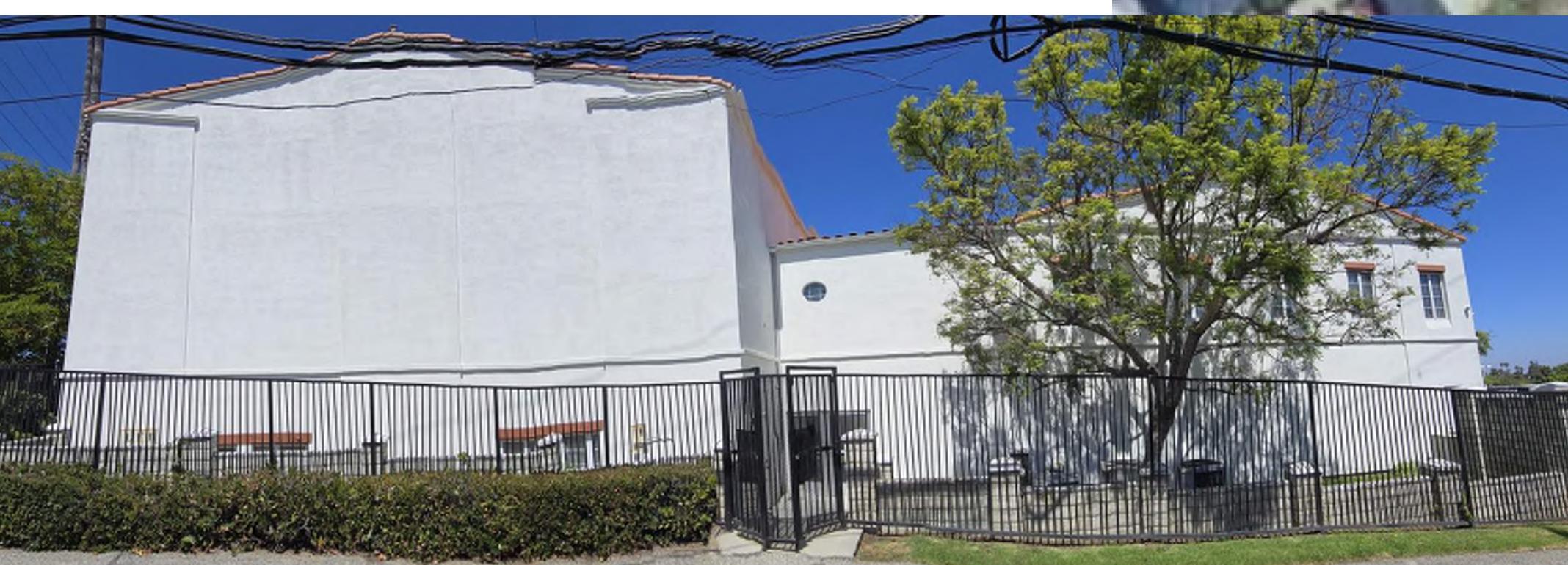


**FROSTIG SCHOOL  
RENOVATION**

3655 Centinela Ave  
Los Angeles, CA 90066



PHOTOGRAPH 6



PHOTOGRAPH 5



PHOTOGRAPH 2



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08/15/25 CUP SUBMISSION

## Revisions

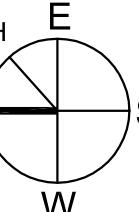
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## Notes

Sheet Title  
SITE PHOTOS

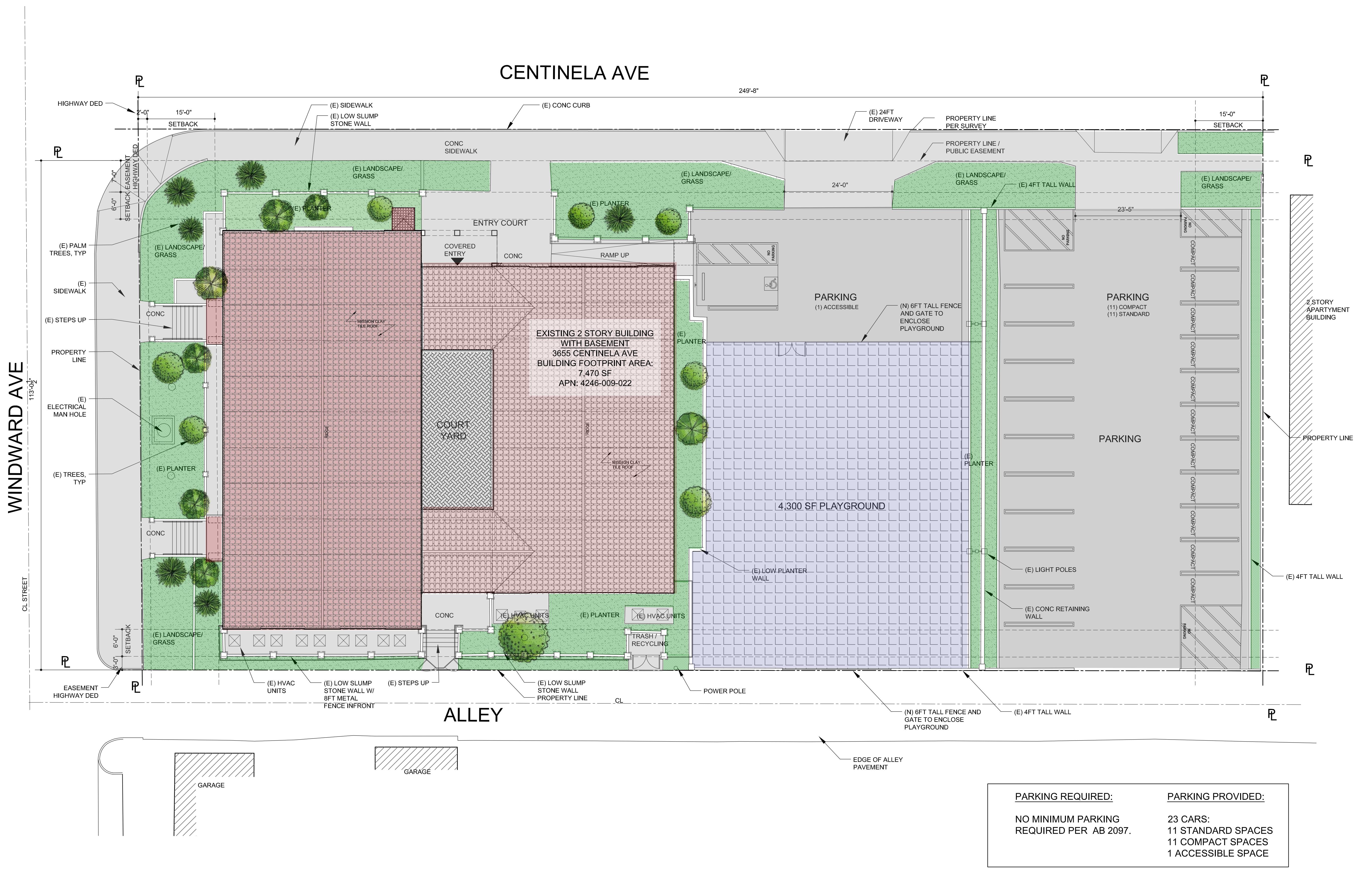
## Sheet Number

T1.20



# ***FROSTIG SCHOOL RENOVATION***

3655 Centinela Ave  
Los Angeles, CA 90066



**01 SITE PLAN**  
SCALE: 3/32"=1'-0"

**01 SITE PLAN**  
SCALE: 3/32"=1'-0"

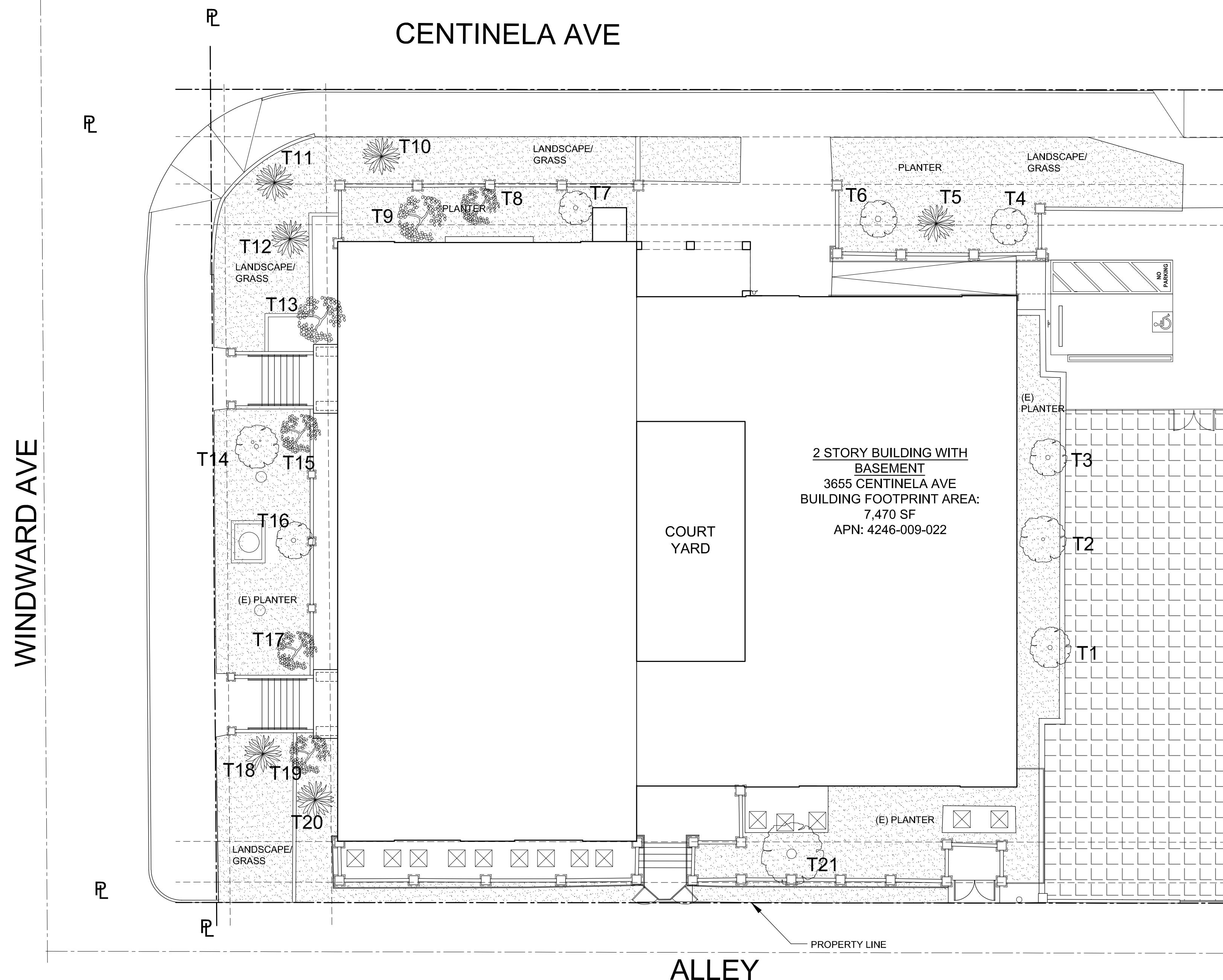
Sheet Title  
CITY PLAN

A1.00



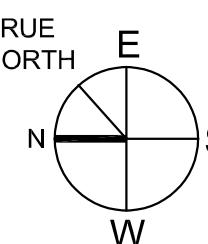
**FROSTIG SCHOOL  
RENOVATION**

3655 Centinela Ave  
Los Angeles, CA 90066



Marker	Species	Common Name	Trunk Sizes
T1	<i>Jacaranda mimosifolia</i>	Blue Jacaranda	1. 24" 2. 15"
T2	<i>Jacaranda mimosifolia</i>	Blue Jacaranda	1. 22"
T3	<i>Jacaranda mimosifolia</i>	Blue Jacaranda	1. 16" 2. 12"
T4	<i>Jacaranda mimosifolia</i>	Blue Jacaranda	1. 16.5"
T5	<i>Washingtonia filifera</i>	California Palm	1. 55"
T6	<i>Jacaranda mimosifolia</i>	Blue Jacaranda	1. 28"
T7	<i>Heptapleurum actinophyllum</i>	Australian Umbrella Tree	1. 43"
T8	<i>Heptapleurum actinophyllum</i>	Australian Umbrella Tree	1. 22" 2. 15"
T9	<i>Heptapleurum actinophyllum</i>	Australian Umbrella Tree	1. 27"
T10	<i>Washingtonia filifera</i>	California Palm	1. 62"
T11	<i>Washingtonia filifera</i>	California Palm	1. 54"
T12	<i>Washingtonia filifera</i>	California Palm	1. 52"
T13	<i>Heptapleurum actinophyllum</i>	Australian Umbrella Tree	1. 31"
T14	<i>Jacaranda mimosifolia</i>	Blue Jacaranda	1. 18"
T15	<i>Heptapleurum actinophyllum</i>	Australian Umbrella Tree	1. 20" 2. 19"
T16	<i>Heptapleurum actinophyllum</i>	Australian Umbrella Tree	1. 20" 2. 18"
T17	<i>Heptapleurum actinophyllum</i>	Australian Umbrella Tree	1. 12" 2. 15"
T18	<i>Washingtonia filifera</i>	California Palm	1. 42"
T19	<i>Heptapleurum actinophyllum</i>	Australian Umbrella Tree	1. 24" 2. 22"
T20	<i>Washingtonia filifera</i>	California Palm	1. 51"
T21	<i>Jacaranda mimosifolia</i>	Blue Jacaranda	1. 41"

**02 TREE INVENTORY**



**TREE INVENTORY  
PLAN**

Sheet Number **A1.10**

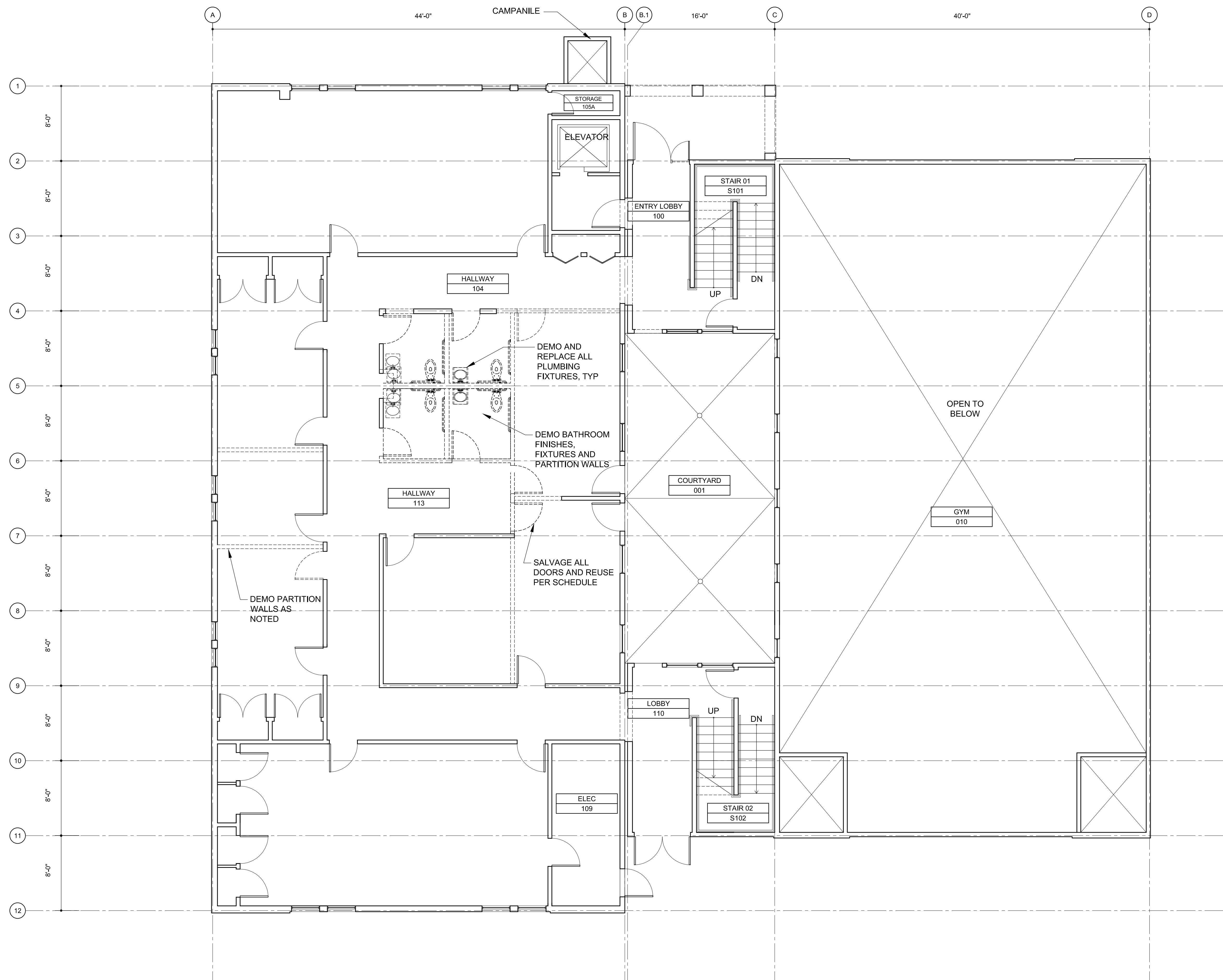
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Notes

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08/15/25 CUP SUBMISSION

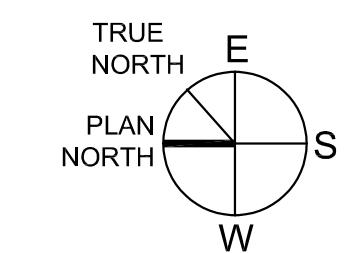
**OWNER**  
The Marianne Frostig Center for  
Educational Therapy  
971 N. Altadena Dr  
Pasadena, CA 91107

**FROSTIG SCHOOL  
RENOVATION**

 3655 Centinela Ave  
 Los Angeles, CA 90066


01 FIRST FLOOR DEMO PLAN

SCALE: 3/16"=1'-0"


 FIRST FLOOR  
DEMO PLAN

Sheet Number

D2.10

## LEGEND

- EXISTING WALL TO REMAIN
- - - DEMOLISH

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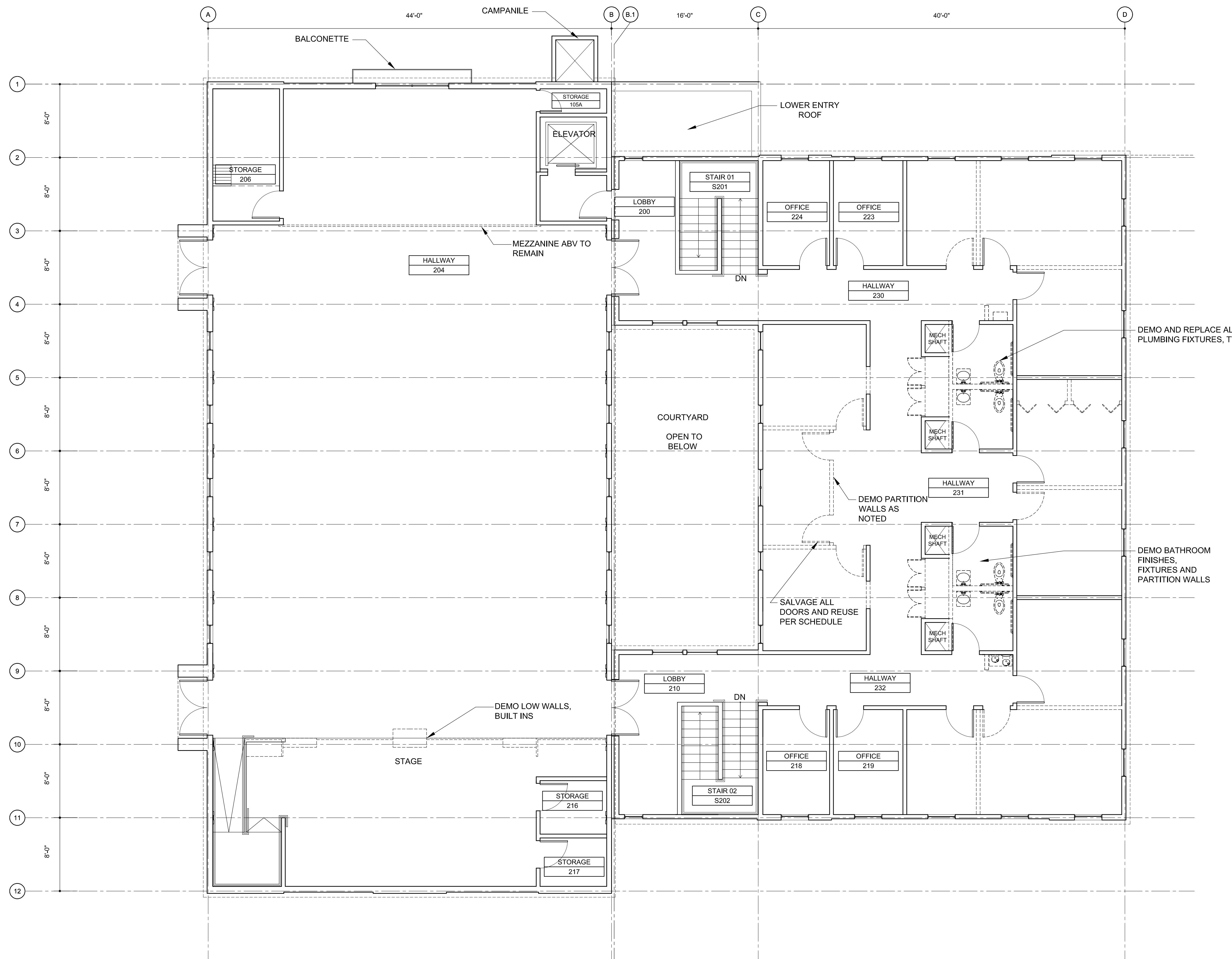
## Revisions

## Notes

08/15/25 CUP SUBMISSION

Sheet Number

**FROSTIG SCHOOL  
RENOVATION**

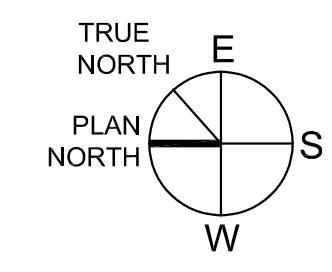
 3655 Centinela Ave  
 Los Angeles, CA 90066


01 SECOND FLOOR DEMO PLAN

SCALE: 3/16"=1'-0"

## LEGEND

- TO BE DEMOLISHED
- EXISTING TO REMAIN


 SECOND FLOOR  
DEMO PLAN

Sheet Number

D2.11

Revisions

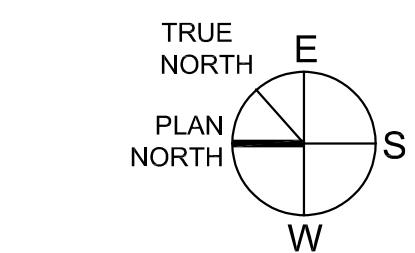
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Notes

Sheet Title

**FROSTIG SCHOOL  
RENOVATION**

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Los Angeles, CA 90066



SECOND FLOOR  
PLAN

A2.11

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Revisions

Notes

Sheet Title

Sheet Number



01 SECOND FLOOR PLAN  
SCALE: 3/16"=1'-0"

SCALE: 3/16"=1'-0"

Sheet Title

Sheet N

Revisions	
Notes	<p>These drawings, specifications, ideas, designs, and arrangements presented thereby are and shall remain the property of SpaceLab+. No part thereof shall be copied, disclosed to others or used in connection with any work or project other than the specific project for which they were prepared and developed without the written consent of SpaceLab+. Visual contact with these drawings or specifications shall constitute conclusive evidence of acceptance of these restrictions.</p>

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***OWNER***  
The Marianne Frostig Center for  
Educational Therapy

971 N. Altadena Dr  
Pasadena, CA 91107

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08/15/25 CLIP SUBMISSION

visions

**FROSTIG SCHOOL  
RENOVATION**

 3655 Centinela Ave  
 Los Angeles, CA 90066

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08/15/25 CUP SUBMISSION

## Revisions

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 shall be reproduced, copied, or otherwise used for any purpose or in  
 any project other than the specific project for which they were prepared and  
 developed without the written consent of Spacelab+. Visual contact with  
 these drawings or specifications shall constitute conclusive evidence of  
 acceptance of these restrictions.

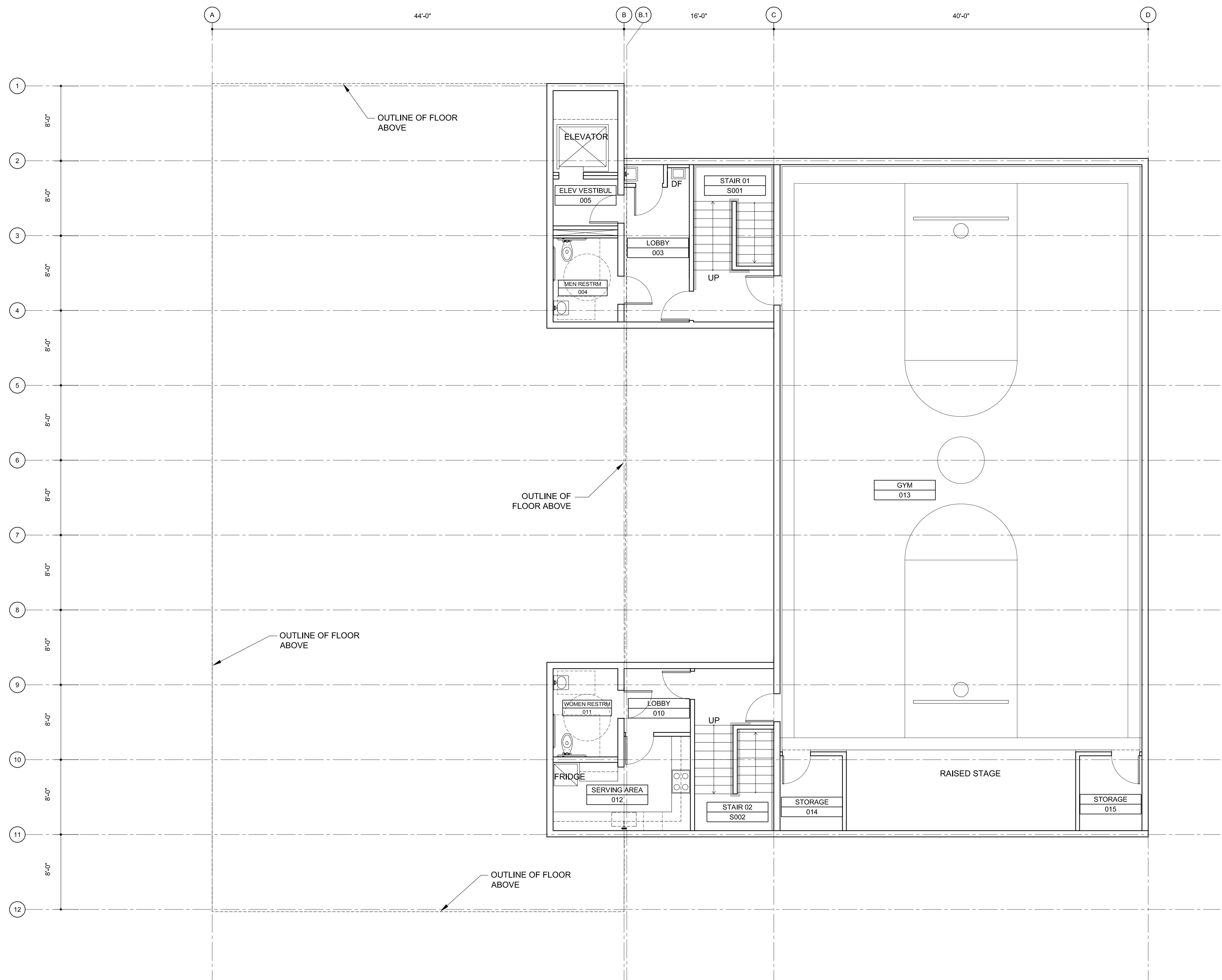
## Notes

## Sheet Title

BASEMENT PLAN

## Sheet Number

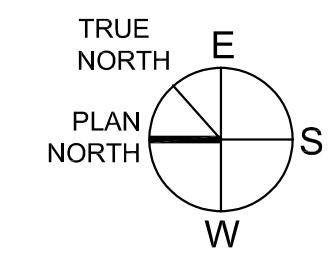
A2.12

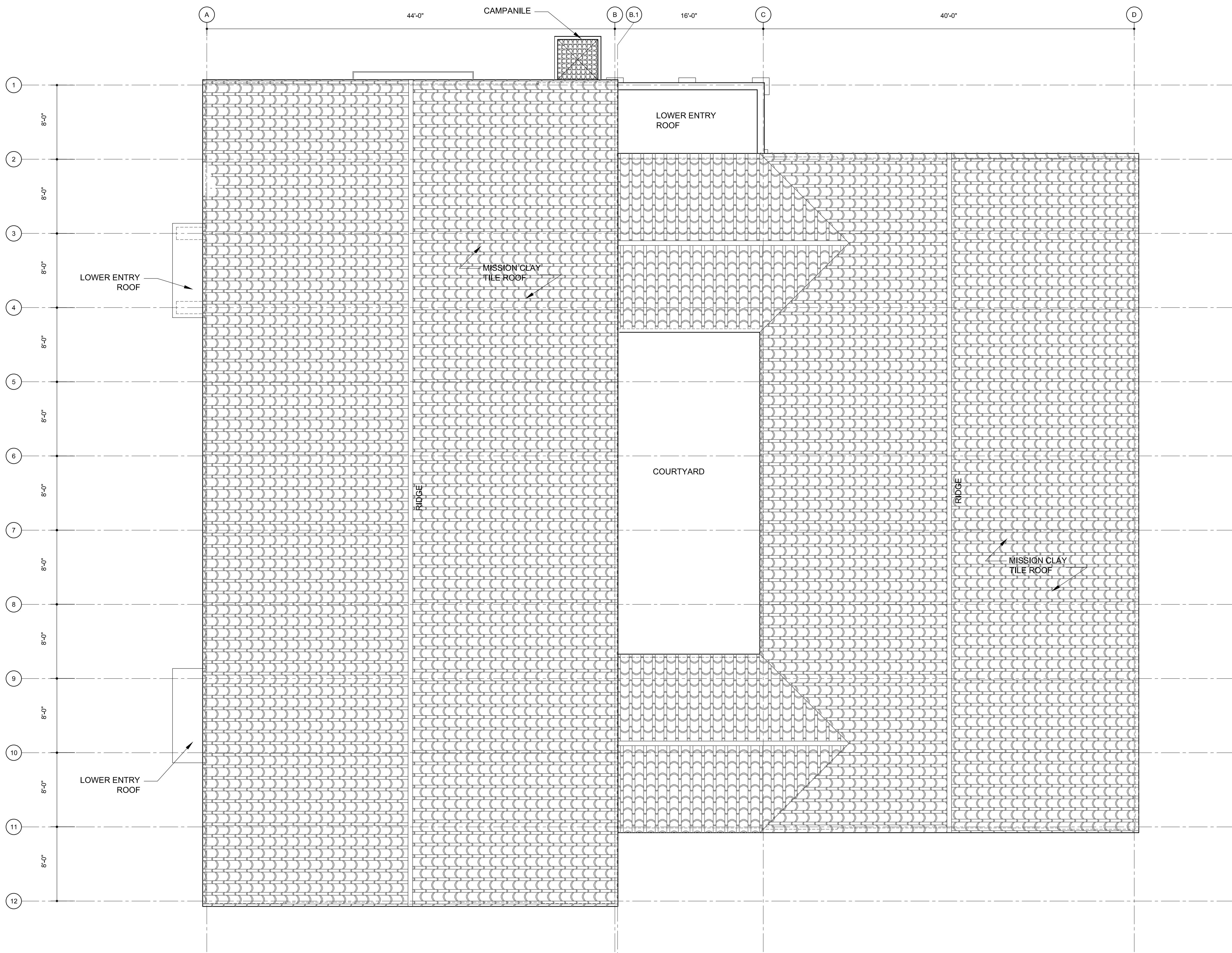


01

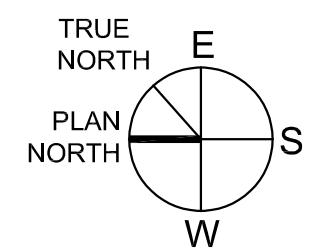
LOWER LEVEL / BASEMENT PLAN

SCALE: 3/16"=1'-0"





01 ROOF PLAN  
SCALE: 3/16"=1'-0"



**FROSTIG SCHOOL  
RENOVATION**

3655 Centinela Ave  
Los Angeles, CA 90066

**OWNER**  
The Marianne Frostig Center for  
Educational Therapy

971 N. Altadena Dr  
Pasadena, CA 91107

08/15/25 CUP SUBMISSION

Revisions

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acceptance of these restrictions.

Notes

Sheet Title  
ROOF PLAN

Sheet Number  
A2.13

**FROSTIG SCHOOL  
RENOVATION**

3655 Centinela Ave  
Los Angeles, CA 90066



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Notes

Sheet Title

ELEVATIONS

Sheet Number

A3.10



## CITY PLANNING APPLICATION

## THIS BOX FOR CITY PLANNING STAFF USE ONLY

 ED1 Eligible AB 2097 Eligible

Case Number: \_\_\_\_\_

CPC 2025-4636-CW3

Env. Case Number: \_\_\_\_\_

ENV 2025-4637-CE

Application Type: \_\_\_\_\_

Conditional use class 3

Case Filed With (Print Name): \_\_\_\_\_

Maira Sanchez

Date Filed: 8/18/25

Application includes letter requesting:

Waived Hearing     Concurrent hearing     Hearing not to be scheduled on a specific date (e.g. vacation hold)

Related Case Number(s): \_\_\_\_\_

## THIS SECTION TO BE COMPLETED BY THE APPLICANT

Provide all information requested. Missing, incomplete or inconsistent information will cause delays.

All terms in this document are applicable to the singular as well as the plural forms of such terms.

Refer to the City Planning Application Filing Instructions ([CP13-7810](#)) for more information.

## 1. PROJECT LOCATION

Street Address<sup>1</sup>: 3655-3681 S. Centinela Ave. & 12412 W. Windward Ave.

Unit/Space Number: \_\_\_\_\_

Legal Description<sup>2</sup> (Lot, Block, Tract): Lots FR 68, FR 67, FR 66, FR 65, FR, 64, Block None, Tract 6052

Assessor Parcel Number: 4246-009-002

Total Lot Area: 25,365 sf; 0.582 ac.

## 2. PROJECT DESCRIPTION

Present Use: Church

Proposed Use: School

Project Name (if applicable): Frostig School, Louma G Campus

<sup>1</sup> Street Addresses must include all addresses on the subject/application site (as identified in ZIMAS—<http://zimas.lacity.org>).

<sup>2</sup> Legal Description must include all contiguously owned properties (even if they are not a part of the proposed project site).

## Describe in detail the characteristics, scope and/or operation of the proposed project:

The Project involves the reuse of a church building as an independent private school that provides specialized education to children. The existing 15,408-square foot building will remain and be improved to meet all current technical codes and other requirements for an independent private school. The school will have an enrollment of 30 students initially with a maximum of up to 80 students in the future. See attached for additional information.

Additional Information Attached:

YES  NO

## EXISTING SITE CONDITIONS

### Complete and check all that apply:

- Site is undeveloped or unimproved (i.e., vacant)
- Site has existing buildings (provide copies of building permits)
- Site is/was developed with uses that could release hazardous materials on soil and/or groundwater (e.g., dry cleaning, gas station, auto repair, industrial)

- Site is located within 500 feet of a freeway or railroad
- Site is located within 500 feet of a sensitive use (e.g., school, park)
- Site has special designation (e.g., National Historic Register, Survey LA)

## PROPOSED PROJECT INFORMATION

### Check all that apply or could apply:

- Demolition of existing buildings/structures
- Relocation of existing buildings/structures
- Removal of any on-site tree
- Removal of any street tree
- Removal of protected trees onsite/in public right-of-way
- Grading
- Haul Route

- New construction: \_\_\_\_\_ square feet
- Additions to existing buildings
- Interior tenant improvement
- Exterior renovation or alteration
- Change of use and/or hours of operation
- Uses or structures in public right-of-way
- Phased project

## HOUSING COMPONENT INFORMATION

### Number of

Residential Units: Existing \_\_\_\_\_ - Demolish(ed)<sup>3</sup> \_\_\_\_\_ + Adding \_\_\_\_\_ = Total \_\_\_\_\_

### Number of

Affordable Units<sup>4</sup>: Existing \_\_\_\_\_ - Demolish(ed) \_\_\_\_\_ + Adding \_\_\_\_\_ = Total \_\_\_\_\_

### Number of Market

Rate Units: Existing \_\_\_\_\_ - Demolish(ed) \_\_\_\_\_ + Adding \_\_\_\_\_ = Total \_\_\_\_\_

Mixed Use Projects, Amount of Non-Residential Floor Area: \_\_\_\_\_ square feet

<sup>3</sup> Number of units to be demolished and/or which have been demolished within the last five years.

<sup>4</sup> As determined by the Los Angeles Housing Department.

## PARKING INFORMATION

Is the project utilizing AB 2097?

YES  NO

If Yes, provide a date-stamped ZIMAS Parcel Profile Report including AB 2097 Eligibility information.

Provided # of Parking Spaces: \_\_\_\_\_ Required # of Parking Spaces: \_\_\_\_\_

### Parking Minimum Checklist

The following checklist will determine if parking minimums can be imposed on a Project under AB 2097. Parking minimums cannot be imposed if the proposed project meets any of the following criteria.

Check all that apply:

- Include a minimum of 20 percent of the total dwelling units for Very Low, Low, or Moderate-Income households, students, the elderly, or persons with disabilities
- Contain fewer than 20 dwelling units
- Are subject to parking reductions of any other applicable law (by satisfying the applicable eligibility requirements)

## PUBLIC RIGHT-OF-WAY INFORMATION

Have you submitted the [Planning Case Referral Form](#) to BOE? (if required)

YES  NO

Is the project required to dedicate land to the public right-of-way?

YES  NO

If so, what is/are the dedication requirement(s)? \_\_\_\_\_ feet

If dedications are required on multiple streets, identify as such: \_\_\_\_\_

## 3. ACTION(S) REQUESTED

Provide the Los Angeles Municipal Code (LAMC) Section that authorizes the request and (if applicable) the LAMC Section or the Specific Plan/Overlay Section from which relief is sought, and follow with a description of the requested action.

Does the project include Multiple Approval Requests per LAMC Section 13A.2.10. of Chapter 1A?

YES  NO

Authorizing Code Section: LAMC Section 12.24.U.24

Code Section from which relief is requested (if any): \_\_\_\_\_

Action Requested: A Class 3 Conditional Use Permit to allow a private elementary and high school in the RD1.5 Zone.

Authorizing Code Section: \_\_\_\_\_

Code Section from which relief is requested (if any): \_\_\_\_\_

Action Requested: \_\_\_\_\_

Additional Requests Attached:  YES  NO

#### 4. RELATED CITY PLANNING CASES

Are there previous or pending cases/decisions/environmental clearances on the project site?  YES  NO

If YES, list all case number(s): \_\_\_\_\_ See attached.

If the application/project is directly related to one of the above cases, list the pertinent case numbers below and complete/check all that apply (provide copy).

Case No.: \_\_\_\_\_ Ordinance No.: \_\_\_\_\_

<input type="checkbox"/> Condition Compliance Review	<input type="checkbox"/> Clarification of Q (Qualified) Condition
<input type="checkbox"/> Modification of Conditions	<input type="checkbox"/> Clarification of D (Development) Limitation
<input type="checkbox"/> Revision of Approved Plans	<input type="checkbox"/> Amendment to T (Tentative) Classification
<input type="checkbox"/> Renewal of Entitlement	<input type="checkbox"/> Plan Approval subsequent to Main Conditional Use

For purposes of environmental (CEQA) analysis, is there intent to develop a larger project?  YES  NO

Have you filed, or is there intent to file, a Subdivision with this project?  YES  NO

If YES, to either of the above, describe the other parts of the projects or the larger project below, whether or not currently filed with the City:

#### 5. RELATED DOCUMENTS / REFERRALS

To help assigned staff coordinate with other Departments that may have a role in the proposed project, provide a copy of any applicable form and reference number if known.

Are there any recorded Covenants, affidavits or easements on this property?

YES (provide copy)  NO

## 6. PROJECT TEAM INFORMATION (COMPLETE ALL APPLICABLE FIELDS)

### APPLICANT

Applicant<sup>5</sup> Name: Dr. Jennifer Tucker Mottes, Ph.D  
Company/Firm: The Marianne Frostig Center for Educational Therapy  
Address: 971 N. Altadena Dr. Unit/Space Number: \_\_\_\_\_  
City: Pasadena State: CA Zip Code: 91107  
Telephone: (626) 791-1255 E-mail: jenny@frostig.org

Are you in escrow to purchase the subject property?  YES  NO

### PROPERTY OWNER OF RECORD

Same as applicant  Different from applicant

Name (if different from applicant): \_\_\_\_\_  
Address: \_\_\_\_\_ Unit/Space Number: \_\_\_\_\_  
City: \_\_\_\_\_ State: \_\_\_\_\_ Zip Code: \_\_\_\_\_  
Telephone: \_\_\_\_\_ E-mail: \_\_\_\_\_

AGENT / REPRESENTATIVE NAME: Dale Goldsmith  
Company/Firm: Armbruster Goldsmith & Delvac LLP  
Address: 12100 Wilshire Boulevard Unit/Space Number: 1600  
City: Los Angeles State: CA Zip Code: 90025  
Telephone: (310) 209-8800 E-mail: dale@agd-landuse.com

<sup>5</sup> An applicant is a person with a lasting interest in the completed project such as the property owner or a lessee/user of a project. An agent/representative is someone filing an application on behalf of a client.

**OTHER (E.G. ARCHITECT, ENGINEER, CEQA CONSULTANT):** \_\_\_\_\_

**Name:** \_\_\_\_\_

**Company/Firm:** \_\_\_\_\_

**Address:** \_\_\_\_\_ **Unit/Space Number:** \_\_\_\_\_

**City:** \_\_\_\_\_ **State:** \_\_\_\_\_ **Zip Code:** \_\_\_\_\_

**Telephone:** \_\_\_\_\_ **E-mail:** \_\_\_\_\_

**Primary Contact for Project Information<sup>6</sup>**

**(Select only one. Email address and phone number required.)**

Owner  Applicant  Agent/Representative  Other: \_\_\_\_\_

To ensure notification of any public hearing as well as decisions on the project, make sure to include an individual mailing label for each member of the project team in both the Property Owners List and the Abutting Property Owners List.

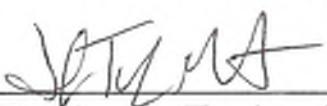
<sup>6</sup> As of June 8, 2022, the Primary Contact for Project is required to have an Angeleno Account and register with the Ethics Commission for Significant Project Entitlements, as defined in LAMC Section [49.7.37\(A\)\(6\)](#). An email address and phone number shall be required on the DCP Application Form, and the email address provided shall match the email address used to create the Angeleno Account.

## PROPERTY OWNER AFFIDAVIT

Before the application can be accepted, the owner of each property involved must provide a notarized signature to verify the application is being filed with their knowledge. Staff will confirm ownership based on the records of the City Engineer or County Assessor. In the case of partnerships, corporations, LLCs or trusts an officer of the ownership entity so authorized may sign as stipulated below.

- **Ownership Disclosure.** If the property is owned by a partnership, corporation, LLC or trust, a disclosure identifying an officer of the ownership entity must be submitted. The disclosure must list the names and addresses of the principal owners (25% interest or greater). The signatory must appear in this list of names. A letter of authorization, as described below, may be submitted provided the signatory of the letter is included in the Ownership Disclosure. Include a copy of the current partnership agreement, corporate articles, or trust document as applicable.
- **Letter of Authorization (LOA).** An LOA from a property owner granting someone else permission to sign the application form may be provided if the property is owned by a partnership, corporation, LLC or trust or in rare circumstances when an individual property owner is unable to sign the application form. To be considered for acceptance, the LOA must indicate the name of the person being authorized the file, their relationship to the owner or project, the site address, a general description of the type of application being filed and must also include the language in items A-D below. In the case of partnerships, corporations, LLCs or trusts the LOA must be signed and notarized by the authorized signatory as shown on the Ownership Disclosure or in the case of private ownership by the property owner. Proof of Ownership for the signatory of the LOA must be submitted with said letter.
- **Grant Deed.** Provide a Copy of the Grant Deed If the ownership of the property does not match City Records and/or if the application is for a Coastal Development Permit. The Deed must correspond exactly with the ownership listed on the application.
- **Multiple Owners.** If the property is owned by more than one individual (e.g. John and Jane Doe or Mary Smith and Mark Jones) notarized signatures are required of all owners.
  - a. I hereby certify that I am the owner of record of the herein previously described property located in the City of Los Angeles which is involved in this application or have been empowered to sign as the owner on behalf of a partnership, corporation, LLC or trust as evidenced by the documents attached hereto.
  - b. I hereby consent to the filing of this application on my property for processing by the Department of City Planning.
  - c. I understand if the application is approved, as a part of the process the City will apply conditions of approval which may be my responsibility to satisfy including, but not limited to, recording the decision and all conditions in the County Deed Records for the property.
  - d. By my signature below, I declare under penalty of perjury under the laws of the State of California that the foregoing statements are true and correct.

*Property Owner's signatures must be signed/notarized in the presence of a Notary Public.  
The City requires an original signature from the property owner with the "wet" notary stamp.  
A Notary Acknowledgement is available for your convenience on following page.*

Signature:  Date: 7/18/25  
Print Name: Dr. Jenny Tucker Mottes, Ph.D.

Signature: \_\_\_\_\_ Date: \_\_\_\_\_  
Print Name: \_\_\_\_\_

SPACE BELOW FOR NOTARY'S USE

**CALIFORNIA ALL-PURPOSE ACKNOWLEDGEMENT**

**CIVIL CODE '1189**

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document, to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

State of California

County of Los Angeles

On 07/18/2025 before me, J. GUADALUPE LOPEZ NOTARY PUBLIC

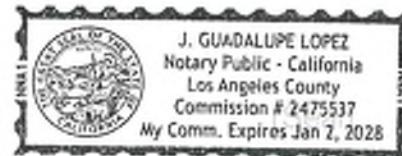
(Insert Name of Notary Public and Title)

personally appeared JENNIFER TUCKER MOTTES, who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf on which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.

J. Lopez  
Signature



## APPLICANT DECLARATION

A separate signature from the applicant, whether they are the property owner or not, attesting to the following, is required before the application can be accepted.

- a. I hereby certify that the information provided in this application, including plans and other attachments, is accurate and correct to the best of my knowledge. Furthermore, should the stated information be found false or insufficient to fulfill the requirements of the Department of City Planning, I agree to revise the information as appropriate.
- b. I hereby certify that I have fully informed the City of the nature of the project for purposes of the California Environmental Quality Act (CEQA) and have not submitted this application with the intention of segmenting a larger project in violation of CEQA. I understand that should the City determine that the project is part of a larger project for purposes of CEQA, the City may revoke any approvals and/or stay any subsequent entitlements or permits (including certificates of occupancy) until a full and complete CEQA analysis is reviewed and appropriate CEQA clearance is adopted or certified.
- c. I understand that the environmental review associated with this application is preliminary, and that after further evaluation, additional reports, studies, applications and/or fees may be required.
- d. I understand and agree that any report, study, map or other information submitted to the City in furtherance of this application will be treated by the City as public records which may be reviewed by any person and if requested, that a copy will be provided by the City to any person upon the payment of its direct costs of duplication.
- e. I understand that the burden of proof to substantiate the request is the responsibility of the applicant. Additionally, I understand that planning staff are not permitted to assist the applicant or opponents of the project in preparing arguments for or against a request.
- f. I understand that there is no guarantee, expressed or implied, that any permit or application will be granted. I understand that each matter must be carefully evaluated and that the resulting recommendation or decision may be contrary to a position taken or implied in any preliminary discussions.
- g. I understand that if this application is denied, there is no refund of fees paid.
- h. I understand and agree to defend, indemnify, and hold harmless, the City, its officers, agents, employees, and volunteers (collectively "City"), from any and all legal actions, claims, or proceedings (including administrative or alternative dispute resolution (collectively "actions")), arising out of any City process or approval prompted by this Action, either in whole or in part. Such actions include but are not limited to: actions to attack, set aside, void, or otherwise modify, an entitlement approval, environmental review, or subsequent permit decision; actions for personal or property damage; actions based on an allegation of an unlawful pattern and practice; inverse condemnation actions; and civil rights or an action based on the protected status of the petitioner or claimant under state or federal law (e.g. ADA or Unruh Act). I understand and agree to reimburse the City for any and all costs incurred in defense of such actions. This includes, but is not limited to, the payment of all court costs and attorneys' fees, all judgments or awards, damages, and settlement costs. The indemnity language in this

paragraph is intended to be interpreted to the broadest extent permitted by law and shall be in addition to any other indemnification language agreed to by the applicant.

- i. I understand that the City is protected by numerous statutory immunities from liability for damages that may be caused by its land use regulatory actions, as set forth in Government Code, section 818, et seq. For instance, the City cannot be held liable for personal or property injuries or damages allegedly caused by its approval and issuance of any discretionary permit, entitlement or approval (Gov. Code § 818.4), or its failure to inspect or its negligence in inspecting a property for the purpose of determining whether the property complies with or violates any permit, entitlement or approval or contains or constitutes a hazard to health or safety (Gov. Code § 818.6).
- j. By my signature below, I declare under penalty of perjury, under the laws of the State of California, that all statements contained in this application and any accompanying documents are true and correct, with full knowledge that all statements made in this application are subject to investigation and that any false or dishonest answer to any question may be grounds for denial or subsequent revocation of license or permit.

*The City requires an original signature from the applicant. The applicant's signature below does not need to be notarized.*

Signature: J. Tucker Myles

Date: 7/18/25

Print Name: Jennifer Tucker Myles

## NEIGHBORHOOD CONTACT SHEET (OPTIONAL)

### 7. SIGNATURES

Signatures of adjoining or neighboring property owners in support of the request are not required but are helpful, especially for projects in single-family residential areas. Signatures may be provided below (attach additional sheets if necessary).

NAME (Print)	SIGNATURE	ADDRESS	KEY # ON MAP

**REVIEW** of the project by the applicable Neighborhood Council is not required but is helpful. If applicable, describe, below or separately, any contact you have had with the Neighborhood Council or other community groups, business associations and/or officials in the area surrounding the project site (attach additional sheets if necessary).