

3252 S. Barrington Ave. Los Angeles, CA 90066
Findings for Vesting Tentative Tract Map

1. The proposed map is consistent with applicable general and specific plans.

The West Los Angeles Community Plan designates the subject property for Multiple Residential land uses with the corresponding zone of R3-1. The property contains approximately 0.189 acres (8,234 square feet) and is presently zoned R3-1. The proposed development of five single-family dwellings in a small lot subdivision is allowable under the current adopted zone and the land use designation.

2. The design and improvement of the proposed subdivision are consistent with applicable general and specific plans.

The Housing Element of the General Plan encourages the creation of new and diverse housing stock, as there remains a strong demand for residential dwellings. The project is in compliance with the use, height, setbacks, and density relative to the underlying zoning. The design and improvement of the proposed project are consistent with and in substantial conformance with the General Plan and the West Los Angeles Community Plan.

3. The site is physically suitable for the proposed type of development.

The subject property consists of one parcel of approximately 8,234 square feet. The development of this project represents an infill opportunity along Barrington Avenue, an established urban corridor characterized by a mix of multifamily residential and nearby commercial uses. There are no hazardous conditions present on the site; as such, the site is physically suitable for the proposed type of development.

4. The site is physically suitable for the proposed density of development.

The subject property is located in the R3-1 Zone, which allows for multiple dwellings at a ratio of one unit per 800 square feet of lot area. The property contains approximately 8,234 square feet, which permits a minimum of five dwelling units. The proposed project contains five single-family homes in a small lot subdivision, and the site is physically suitable for the proposed density of development.

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5. The design of the subdivision and the proposed improvements are not likely to cause substantial environmental damage or substantially and avoidably injure fish or wildlife or their habitat.

The project site lies within a substantially built-out and urbanized environment and does not contain wildlife corridors or natural habitat. No protected trees are identified on the site. Therefore, the design of the project and proposed improvements are not likely to cause environmental damage or injury to fish or wildlife or their habitat.

6. The design of the subdivision and the proposed improvements are not likely to cause serious public health problems.

The project site lies within a substantially built-out urban environment. The proposed development will be built to the current codes regulating design and construction of new improvements, including those relating to health, fire, and safety. The proposed residential dwelling units are not likely to cause serious public health problems.

7. The design of the subdivision and the proposed improvements will not conflict with easements acquired by the public at large for access through or use of property within the proposed subdivision.

The subject property contains a public utility easement as shown on the plans; however, this easement is limited to utilities and does not provide public access. Therefore, no conflicts with easements for public access or use exist or are created by the proposed subdivision.



BARRINGTON SLS

3252 S BARRINGTON AVE, LOS ANGELES, CA 90066

PROJECT PARTICIPANTS

OWNER
BARRINGTON VISION LLC
 9737 CHARNOCK AVE #9
 LOS ANGELES CA 90034
 tel. 310 664 9311
 email: poanchen@gmail.com

ARCHITECT
Tracy A. Stone Architect
 2041 Blake Ave.
 Los Angeles CA 90039
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 email: tstone@tracystonearchitect.com

STRUCTURAL ENGINEER
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 24702 Narbonne Ave
 Lomita, CA 90717
 tel. 310 294 8411
 email: engineer@ggstructures.com

CIVIL ENGINEER

Planex Associates
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 Santa Monica, CA 90404
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SURVEYOR

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 1330 Olympic Blvd
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LANDSCAPE ARCHITECT

Swamp Pink Landscape Architecture
 3917 Lowell Avenue
 Los Angeles, CA 90032
 tel. 323 394 9693
 email: gjnewmark@sbcglobal.net

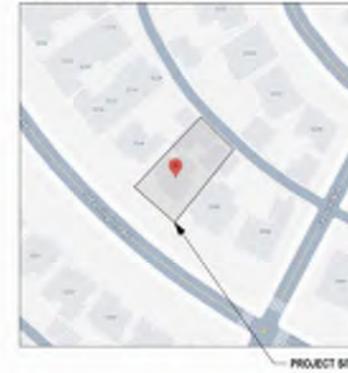
ABBREVIATIONS

A/C	Air Conditioning / Condenser	FAU	Forced Air Unit	Min	Minimum	Spec	Specification
AD	Area Drain	FF	Finish Floor	[N]	New	SS	Stainless Steel
AFF	Above Finish Floor	FG	Finish Grade	NG	Natural Grade	Std	Standard
Arch	Architectural	FJ	Floor Joist	NC	Not In Contract	Stl	Steel
BM	Beam	FO	Face Of	O/	Over	T	Tread
Bldg	Building	FS	Finish Slab	OC	On Center	T&G	Tongue & Groove
CFM	Cubic Feet per Minute	GA	Gauge	PL	Property Line	TOW	Top of Wall
CL	Center Line	GI	Galvanized Iron	R	Riser	Temp	Temper
[D]	Demolish / Demolition	Gyp	Gypsum Board	RA	Return Air	Typ	Typical
DN	Down	HB	Hose Bibb	Rev	Revision	UNO	Unless Noted Otherwise
DS	Downspout	Hdr	Header	RO	Rough Opening	VIF	Verify In Field
D/W	Dishwasher	Ht	Height	RR	Roof Rafter	W	With
[E]	Existing	Mfg	Manufacturer	SA	Service Air	Wd	Wood
Eq.	Equal	Mt	Metal	Sim	Similar	WH	Water Heater

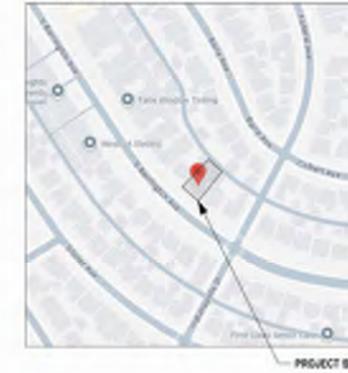
DRAWING SYMBOLS

	Gridline		Keynote
	Spot Elevation		Door Label
	Section Marker		Window Label
	Wall Section Marker		Wall Type
	Detail Marker		Finish Label

KEY PLAN



VICINITY MAP



DRAWING INDEX

PZA Submittal Revised

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C0	Survey
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A1.2	Floor Area Calculations - Building Area
A1.3	Floor Area Calculations - Building Area
A2.0	Key Plans
A2.1	Key Plans
A2.2	Key Plans
A2.3	Key Plans
A2.0	Elevations
A2.1	Small Lot Design Staircases

SCOPE OF WORK

- Demolish [e] single family residence and 2 [e] accessory structures
- Construct 5 [n] structurally independent single family dwellings as part of a [n] small lot subdivision. Separate permit required for each.
- Demo [e] curb cut and construct [n] curb cut - separate permit required.
- Construct [n] perimeter site fencing/walls - separate permit required. To be submitted under same permit application.

SITE INFORMATION

3252 S BARRINGTON AVE LOS ANGELES CA 90066

APN: 4250010009
 Tract: TR 14317
 Block: None
 Lot: 80
 Specific Plan Area: West LA Transportation Improvement and Mitigation R3-1
 Zone:

Lot Area: 8,234.1 sf
 Net Area: 5,801.9 sf

FLOOR AREA CALCULATIONS

Areas - Zoning Code	Home Story Name	TOTAL AREA
UNIT 1	1st Floor	319.7
	2nd Floor	639.3
	3rd Floor	655.6
	4th Floor	13.7
	Roof Access	1,628.3 ft ²
UNIT 2	1st Floor	538.2
	2nd Floor	744.7
	3rd Floor	482.7
		1,765.6 ft ²
UNIT 3	1st Floor	280.4
	2nd Floor	683.3
	3rd Floor	647.1
		1,610.8 ft ²
UNIT 4	1st Floor	325.0
	2nd Floor	554.1
	3rd Floor	536.9
	4th Floor	27.9
	Roof Access	1,443.9 ft ²
UNIT 5	1st Floor	368.2
	2nd Floor	623.6
	3rd Floor	582.5
	4th Floor	31.0
	Roof Access	1,605.3 ft ²

PROJECT INFORMATION

Construction: Type VB
 Stories: 3 + Roof Deck
 Site Area: 8,234.1 sf
 Height: 45' max.

REQUIRED YARDS:

Front Yard: 15'
 Side Yard: 6'
 Rear Yard: 15'

FAR:

Allowable FAR: 3:1
 See setback matrix on A1.1

DENSITY

Min (LAMC 12.10.C.4) 8,234.1 / 2000
 = 4.11 = Min 5 Units
 Max (LAMC 12.10.C.5) 8,234.1 / 800
 = 10.29 = Max 10 Units
 Proposed: 5 Units

PARKING:

Required Spaces: 2 covered per unit
 Provided Spaces: 2 covered per unit

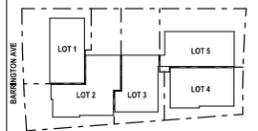
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BARRINGTON SLS

3252 S BARRINGTON AVE
 LOS ANGELES, CA 90066

5 SINGLE-FAMILY HOMES
 DEVELOPED AS A SMALL LOT
 SUBDIVISION

KEY MAP



CLIENT

BARRINGTON VISION LLC
 9737 CHARNOCK AVE #9
 LOS ANGELES, CA 90034
 poanchen@gmail.com

NOT FOR CONSTRUCTION

ID	DATE	ISSUE
01	9/12/2025	PZA Submittal
03	11/4/2025	PZA Submittal Revised

sheet name
Cover Sheet

printed
 11/4/2025
 sheet number

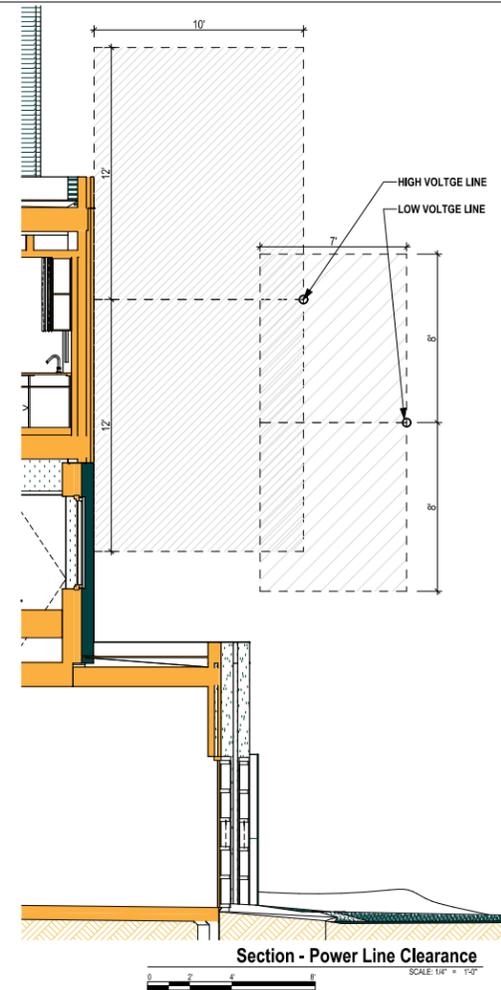
T0.1

BARRINGTON SLS
 3252 S BARRINGTON AVE
 LOS ANGELES, CA 90066

KEY MAP

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 LOS ANGELES, CA 90034
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Assumptions and Limiting Conditions

No warranty is made, expressed or implied, that problems or deficiencies of the trees or the property will not occur in the future, from any cause. The Consultant shall not be responsible for damages or injuries caused by any tree defects, and assumes no responsibility for the correction of defects or tree related problems.

The owner of the trees may choose to accept or disregard the recommendations of the Consultant, or seek additional advice to determine if a tree meets the owner's risk abatement standards. The Consulting Arborist has no past, present or future interest in the removal or retaining of any tree. Opinions contained herein are the independent and objective judgments of the consultant relating to circumstances and observations made on the subject site.

The recommendations contained in this report are the opinions of the Consulting Arborist at the time of inspection. These opinions are based on the knowledge, experience, and education of the Consultant. The field inspection was a visual, grade level tree assessment.

The Consulting Arborist shall not be required to give testimony, perform site monitoring, provide further documentation, be deposed, or to attend any meeting without subsequent contractual arrangements for this additional employment, including payment of additional fees for such services as described by the Consultant.

The Consultant assumes no responsibility for verification of ownership or locations of property lines, or for results of any actions or recommendations based on inaccurate information. This Arborist report may not be reproduced without the express permission of the Consulting Arborist and the client to whom the report was issued. Any change or alteration to this report invalidates the entire report.

NEIGHBOR TREES

I have also inspected the neighboring properties to confirm there are NO NATIVE protected tree species, neither on the property, nor in close proximity to any areas of construction.

Should you have any questions, please contact me at (310) 663-2290.

Respectfully submitted,

Lisa Smith
 Lisa Smith – The Tree Resource ®
 Registered Consulting Arborist #464
 ISA Board Certified Master Arborist #WE3782B
 ISA Tree Risk Assessor Qualified- Instructor
 Member of American Society of Consulting Arborist



July 24, 2025

Barrington Vision LLC
 3252 S Barrington Ave
 Los Angeles, CA 90066

Re: 3252 S Barrington Ave, Los Angeles, CA 90066

Dear Client,

This letter is in regard to the subject property at 3252 S Barrington Ave, Los Angeles, CA. I reviewed the site on July 24, 2025 as an ISA Certified Arborist to evaluate the trees on site for native protected species prior to the proposed construction.

Site History

This property is located in the Mar Vista area of Los Angeles and is currently developed with a single family residence. The owner is preparing to re-develop.

PROTECTED TREES, URBAN FORESTRY DIVISION

This property is under the jurisdiction of the City of Los Angeles and guided by the Native Tree Protection Ordinance No. 186873. **Protected Trees** are defined by this ordinance as oaks (*Quercus* sp.) indigenous to California but excluding the scrub oak (*Quercus dumosa*); Southern California black walnut (*Juglans californica* var. *californica*); Western sycamore (*Platanus racemosa*) and California bay laurel (*Umbellularia californica*) trees with a diameter at breast height (DBH) of four inches (4") or greater. **Protected Shrubs** are defined as Mexican elderberry (*Sambucus mexicana*); toyon (*Heteromeles arbutifolia*) which measure four inches or more in cumulative diameter, four and one-half feet above the ground level at the base of the shrub.

There are **NO** trees or shrubs on this property that would be considered protected native within the City of Los Angeles Native Tree Protection Ordinance.

CITY OF LOS ANGELES STREET TREES, URBAN FORESTRY DIVISION

There are no trees located in the parkway perimeter that are considered City of Los Angeles Street Trees.

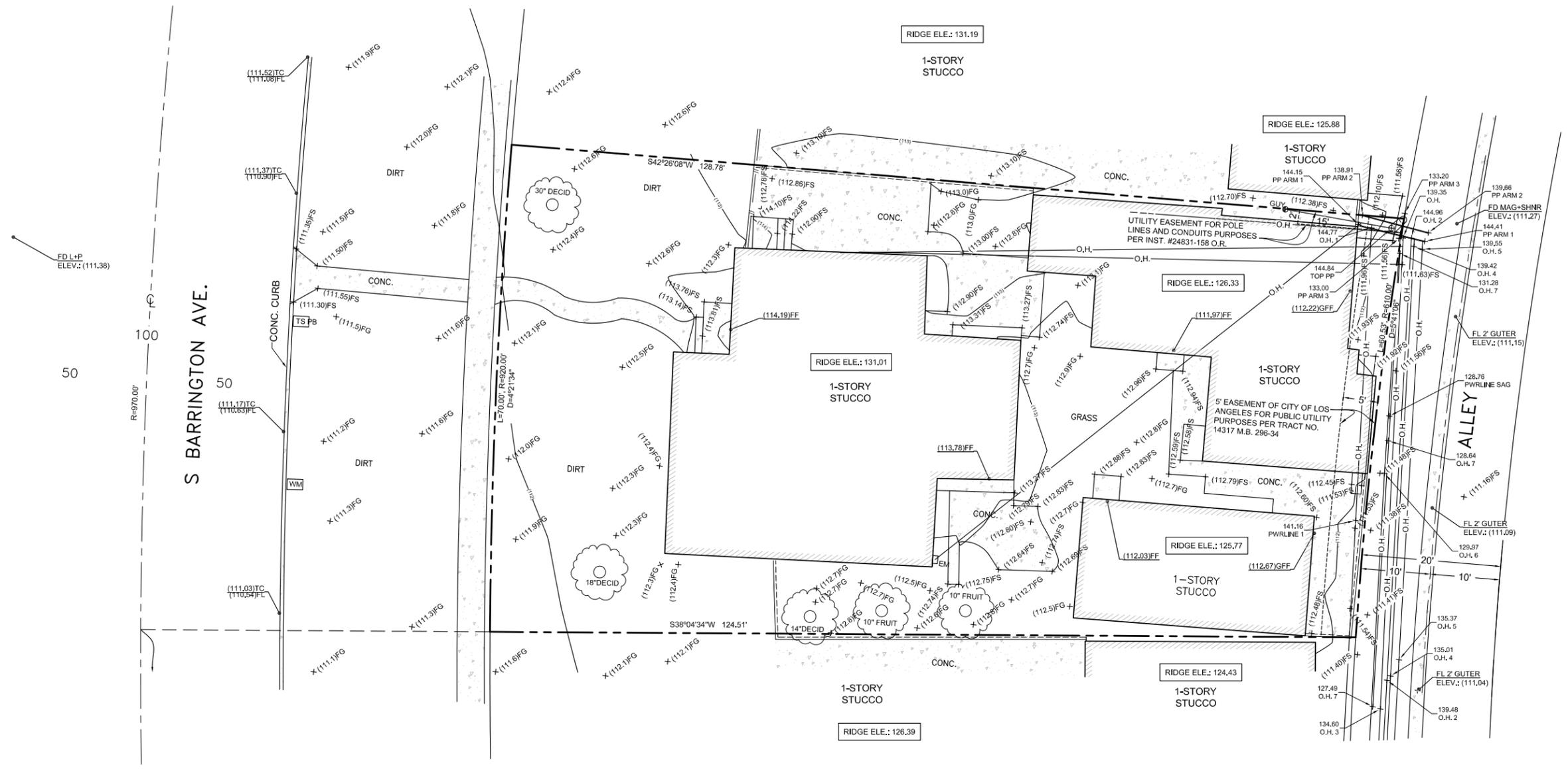
NOTE: The drawings, specifications, ideas, designs, and arrangements represented throughout are and shall remain property of the architect and no part thereof shall be copied or disclosed to others or used in connection with any work or project other than the specific project for which they have been prepared and developed without the written consent of the architect. No construction activity shall start without contacting and/or seeing the architect for a preliminary meeting. No decision or change to the original design shall be made without written consent of the architect. Visual contact with these drawings or specifications shall constitute conclusive evidence of these restrictions.

PZA Submittal Revised	
ID	DATE
01	9/12/2025
02	11/4/2025
03	11/4/2025

REVISION	DATE	DESCRIPTION

sheet name
Tree Letter
 printed
 11/4/2025
 sheet number

T0.2



LEGEND:

- A.C. ASPHALT CONCRETE
- A.L. AREA LIGHT
- B.W. BACK OF WALK
- C.B. CATCH BASIN
- C.F. CURB FACE
- C.L.F. CHAIN LINK FENCE
- CONC. CONCRETE
- E.P. EDGE OF PAVEMENT
- FD. FOUND MONUMENT
- F.F. FINISH FLOOR ELEVATIONS
- F.G. FINISH GRADE (EARTH)
- F.H. FIRE HYDRANT
- F.L. FLOW LINE
- F.S. FINISH SURFACE
- G.B. GRADE BREAK
- G.M. GAS METER
- G.P. GUARD POST
- G.W. GUY WIRE
- H. WALL HEIGHT
- H.P. HIGH POINT
- I.P. IRON PIPE
- L.P. LOW POINT
- L&T. LEAD AND TACK
- M.H. MANHOLE
- P.A. PLANTING AREA
- P.B. UTILITY PULL BOX
- P.I. POINT OF INTERSECTION
- P.L. PROPERTY LINE
- R.P. RADIUS POINT
- S.D. STORM DRAIN
- S.S. SANITARY SEWER
- S.L. STREET LIGHT
- T.E. TRASH ENCLOSURE
- RET. RETAINING
- R/W. STREET RIGHT-OF-WAY LINE
- T.C. TOP OF CURB
- T.F. TOP OF FOOTING
- T.G. TOP OF GRATE
- T.P. TOP OF PAVEMENT
- T.S. TRAFFIC SIGNAL
- T.W. TOP OF WALL
- T.W.F. TOP OF WOOD FENCE
- W.I.F. WROUGHT IRON FENCE
- W.M. WATER METER
- W.V. WATER VALVE
- R. RIDGE LINE
- X 1492.55 SPOT ELEVATION
- (1490) CONTOUR LINE
- EASEMENT LINE
- - - - - TOP OF SLOPE
- ===== PROPERTY LINE
- ===== RIGHT-OF-WAY LINE
- STREET CENTERLINE
- EDGE OF PAVEMENT

R=970.00'
184.90'



FEDERAL AVE.



GRAPHIC SCALE

(IN FEET)
1 inch = 8 ft.

LEGAL DESCRIPTION
LOT 80, TRACT 14317, IN THE COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 296, PAGE 31 TO 37 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

BENCHMARK
WIRE SPK N CURB FEDERAL AVE; 17 FT E OF BC RET E OF BARRINGTON AVE W END CB.
ELEV. = 110.312
PROPERTY ADDRESS: 3252 S. BARRINGTON, LOS ANGELES, CA 90066
ASSESSORS ID NUMBER: 4250-010-009
LOT AREA: 8,234 S.F.

NOTES:
1. BOUNDARY INFORMATION IS COMPILED FROM RECORDED DATA. THIS IS NOT A BOUNDARY SURVEY PLAT.
2. UNLESS NOTED, EXISTING PUBLICLY OR PRIVATELY OWNED UTILITIES, IF ANY, NOT SHOWN HEREON.

TOPOGRAPHIC NOTES

CONTOUR LINES SHOWN ON THIS TOPOGRAPHIC SURVEY WERE GENERATED FROM RANDOM SPOT ELEVATIONS. THE EXPECTED LEVEL OF ACCURACY IS ±1/2 OF THE CONTOUR INTERVAL, ISOLATED ELEVATIONS, AS PLACED ON THE PLAT WERE PHYSICALLY MEASURED AT APPROXIMATELY THE LOCATIONS SHOWN. THEIR EXPECTED LEVEL OF ACCURACY IS ± 0.10 FOOT.

NO.	DATE	REVISION
1	7/7/2025	ADDED OVERHEAD WIRES

PLANEX Associates
1330 OLYMPIC BLVD.
SANTA MONICA, CA 90404
TEL. (310) 664-9311

TOPOGRAPHICAL SURVEY
3252 BARRINGTON AVE., LOS ANGELES

SIGNED _____
 DATE: 8/4/2025

SHEET 1 OF 1

PFN: 1702-420
DATE: 8/4/2025

C - 0

KEYNOTES

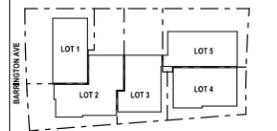
- 03 SITE IMPROVEMENTS
- 03.01 [N] 6' max CMU Wall w/ stucco
- 03.02 [N] 3'-6" max CMU Wall in front yard.
- 03.14 [N] Driveway / security gate
- 03.28 [E] Power Pole to remain. Maintain required clearances from wires per LADWP detail 1/A1.1 at all times, even during construction.
- 03.30 Provide [n] permeable pavers with 2' subbase. Construct per plans according to standard LID detail 2/A0.6
- 03.43 [N] 42" max fence in front yard
- 03.60 [E] Power Line overhead
- 03.61 Public Utility Easement
- 03.62 Demolish [e] non-protected trees
- 03.63 [N] Bollard with light fixture
- 05 SUPERSTRUCTURE
- 05.01 Line of balcony above
- 06 EXTERIOR ENCLOSURE
- 06.04 Line of overhang above

BARRINGTON SLS

3252 S BARRINGTON AVE
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5 SINGLE-FAMILY HOMES
 DEVELOPED AS A SMALL LOT
 SUBDIVISION

KEY MAP



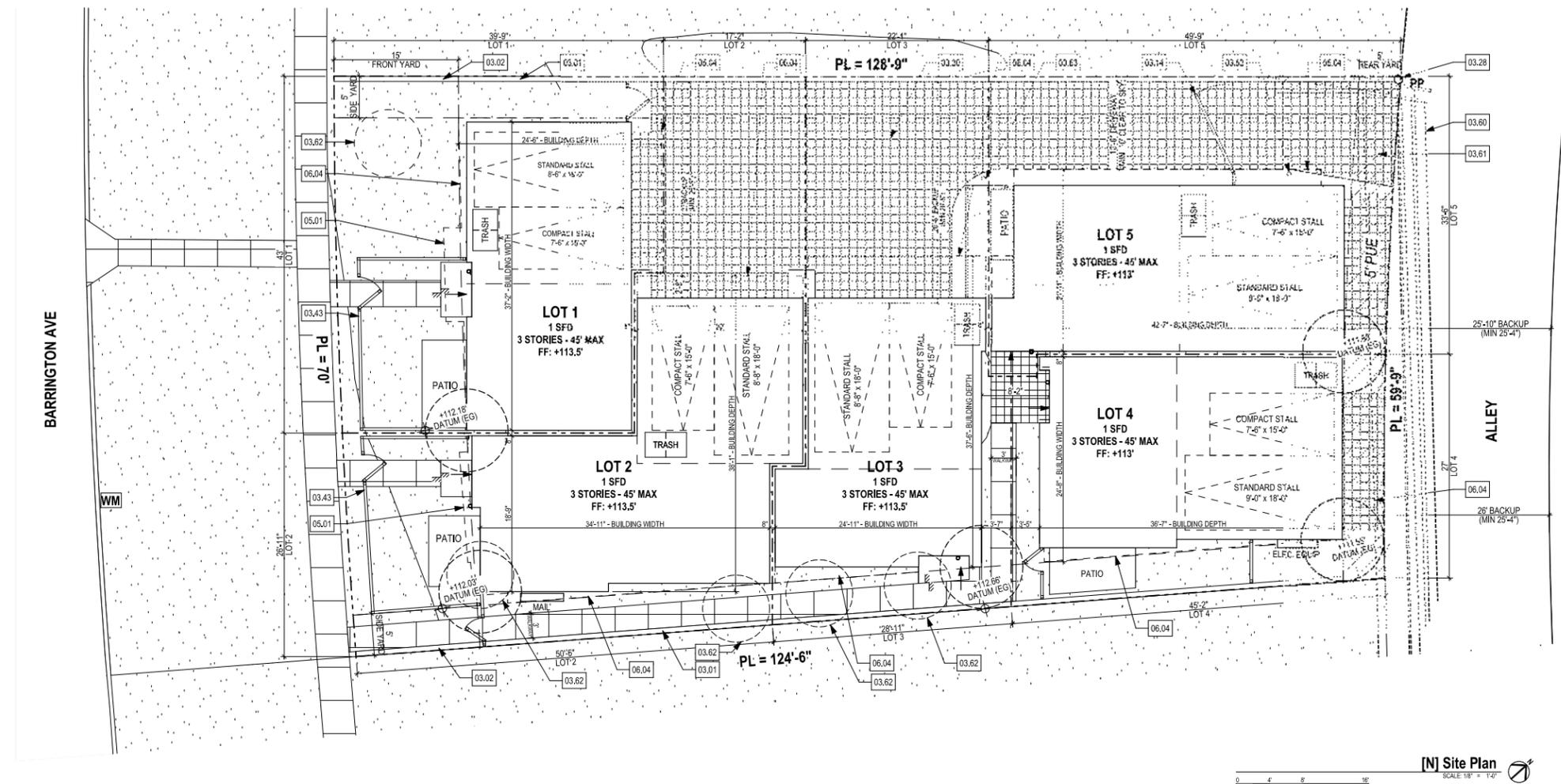
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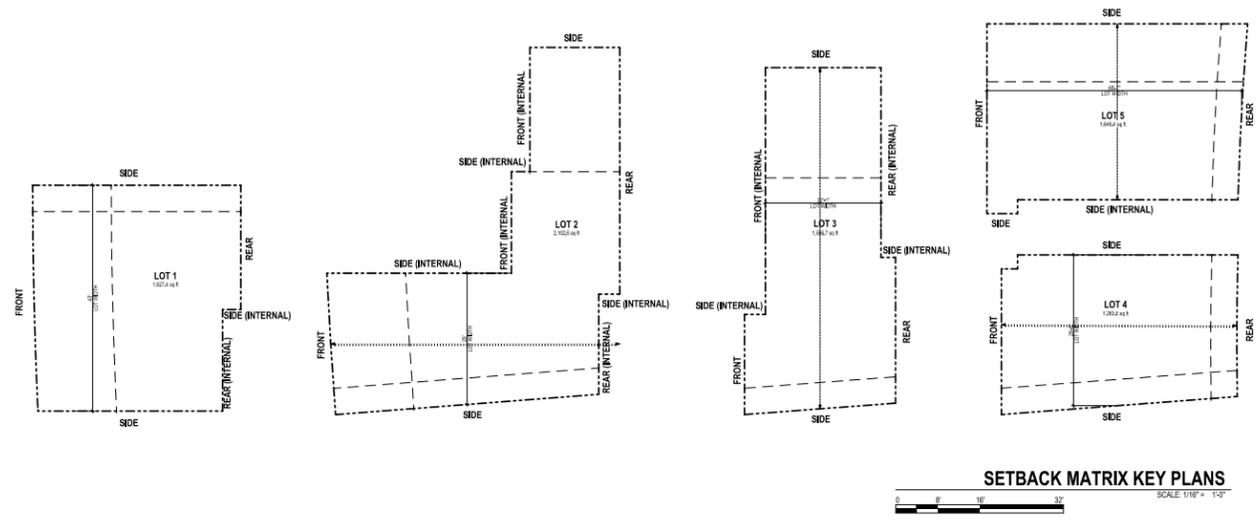
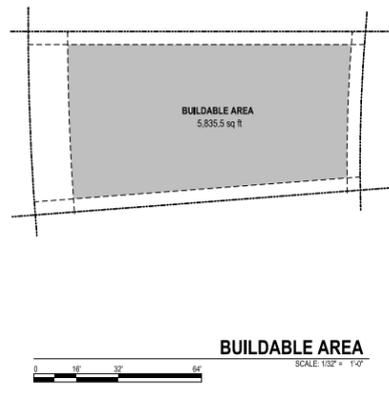
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[N] Site Plan
 SCALE: 1/8" = 1'-0"



PARCEL DATA			
LOT	LOT AREA (S.F.)	FLOOR AREA (S.F.)	LOT COVERAGE
LOT 1	1627.4	1628.3	1:1 45.0%
LOT 2	2102.6	1765.6	.84:1 47.1%
LOT 3	1586.7	1610.8	1:1 46.0%
LOT 4	1283.5	1443.9	1.12:1 63.9%
LOT 5	1646.4	1605.3	.98:1 49.5%

SETBACK MATRIX				
LOT	FRONT	SIDE (N)*	SIDE (S)*	REAR
LOT 1	15'	5'	0'	0'
LOT 2	15'	23'-8"	5'	0'
LOT 2 (INTERNAL)	0'	0'	0'	0'
LOT 3	0'	21'	5'	0'
LOT 3 (INTERNAL)	0'	0'	-	0'
LOT 4	0'	0'	5'	5'
LOT 5	5'	11'	0'	5'
LOT 5 (INTERNAL)	-	-	0'	0'

*Directions are relative to plan orientation

SITE PLAN LEGEND

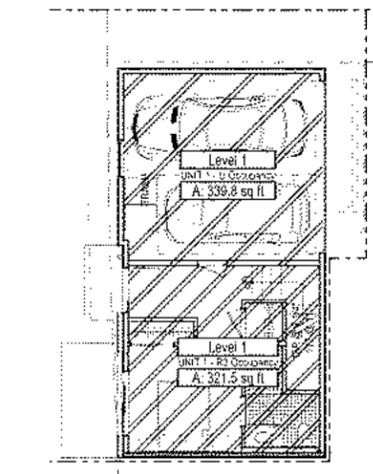
- Property Line
- Setback Line
- Centerline
- Fence
- [N] Wall
- Grass / Planter
- Gravel / DG
- Corvette
- Permeable Paver
- Gas Meter
- Water Meter
- Electrical Equip
- Irrigation Controller

sheet name
[N] Site Plan

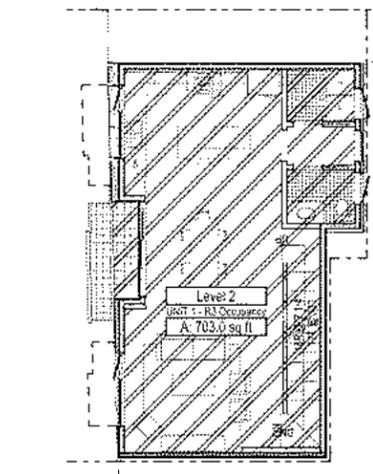
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sheet number
A1.1

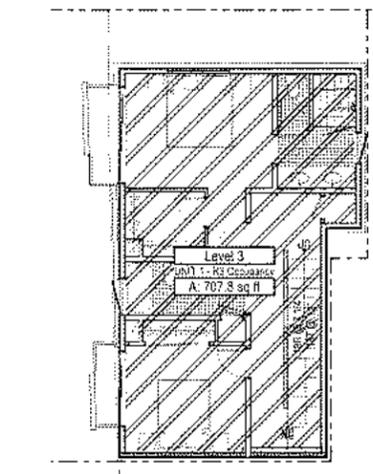
ITEMS	FLOOR AREA BREAKDOWN		NOTES
	EXISTING	NEW	
LOT 1 - Level 1		666	
LOT 1 - Level 2		778	
LOT 1 - Level 3		707.9	
LOT 1 - Level 4		71.3	
LOT 1 - R3 Occupancy		1823.8	
LOT 1 - U Occupancy		344.4	
LOT 1 Total	2171.3		
LOT 2 - Level 1		889	
LOT 2 - Level 2		807.3	
LOT 2 - Level 3		534	
LOT 2 - R3 Occupancy		1934	
LOT 2 - U Occupancy		356.5	
LOT 2 Total	2280.3		
LOT 3 - Level 1		638	
LOT 3 - Level 2		755.3	
LOT 3 - Level 3		636	
LOT 3 - R3 Occupancy		1647.7	
LOT 3 - U Occupancy		362.3	
LOT 3 Total	2899.3		
LOT 4 - Level 1		734.3	
LOT 4 - Level 2		620.4	
LOT 4 - Level 3		610.4	
LOT 4 - Level 4		135	
LOT 4 - R3 Occupancy		1668.3	
LOT 4 - U Occupancy		414.2	
LOT 4 Total	2882.9		
LOT 5 - Level 1		729.4	
LOT 5 - Level 2		660.3	
LOT 5 - Level 3		685.8	
LOT 5 - Level 4		128.8	
LOT 5 - R3 Occupancy		1802.3	
LOT 5 - U Occupancy		361.2	
LOT 5 Total	2284.1		
Overall Total		10,758.6	



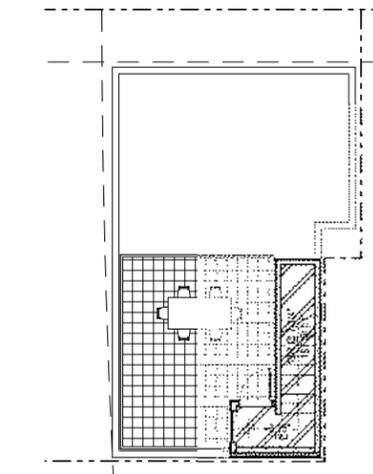
LOT 1 | Building Area - 1st Floor



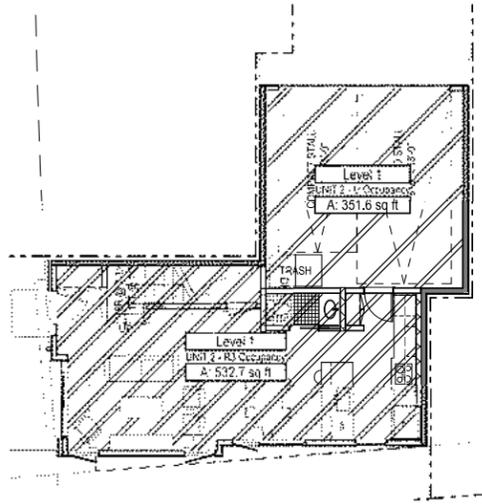
LOT 1 | Building Area - 2nd Floor



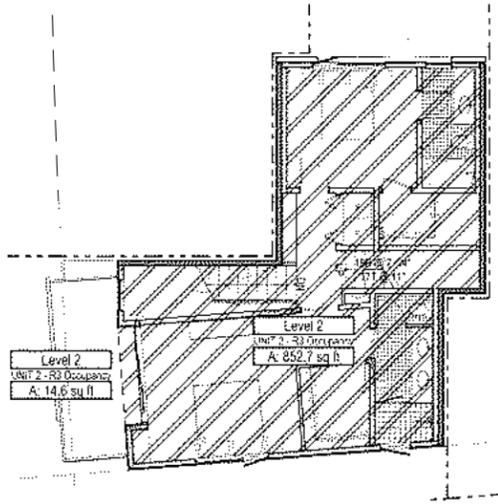
LOT 1 | Building Area - 3rd Floor



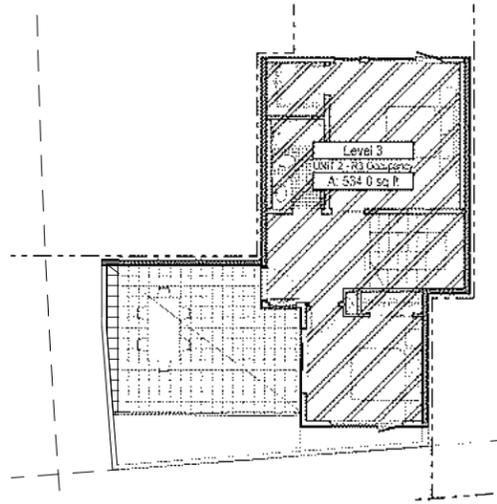
LOT 1 | Building Area - 4th Floor



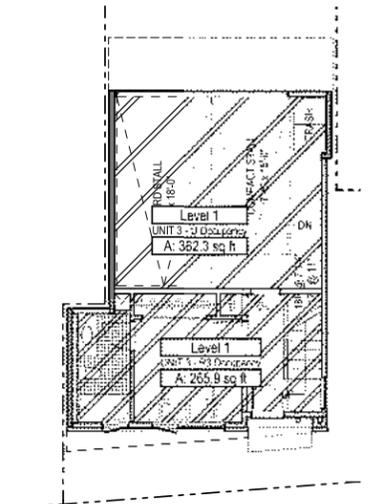
LOT 2 | Building Area - 1st Floor



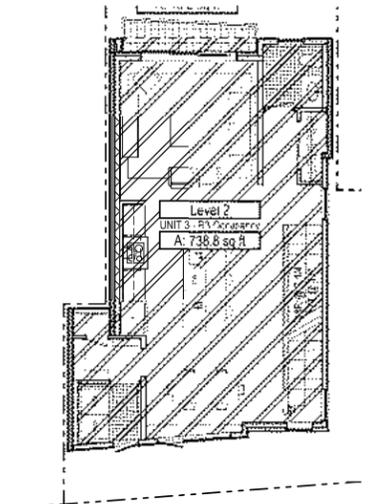
LOT 2 | Building Area - 2nd Floor



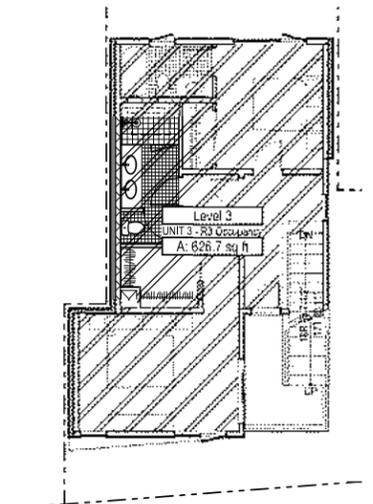
LOT 2 | Building Area - 3rd Floor



LOT 3 | Building Area - 1st Floor



LOT 3 | Building Area - 2nd Floor



LOT 3 | Building Area - 3rd Floor

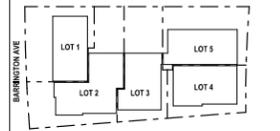
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 www.tracystonearchitect.com

BARRINGTON SLS

3252 S BARRINGTON AVE
 LOS ANGELES, CA 90066

5 SINGLE-FAMILY HOMES
 DEVELOPED AS A SMALL LOT
 SUBDIVISION

KEY MAP



CLIENT

BARRINGTON VISION LLC
 9737 CHARNOCK AVE #9
 LOS ANGELES, CA 90034
 poanchen@gmail.com

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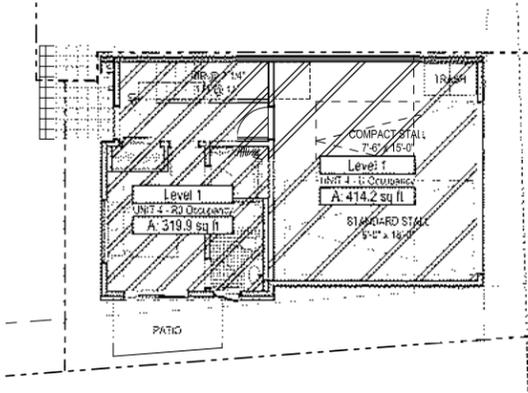
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Floor Area Calculations - Building Area

printed
 11/4/2025
 sheet number

A1.2

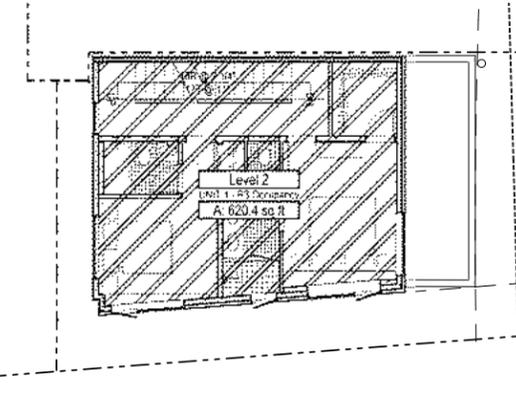
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ITEMS	FLOOR AREA BREAKDOWN		NOTES
	EXISTING	NEW	
LOT 1 - Level 1		686	
LOT 1 - Level 2		778	
LOT 1 - Level 3		707.9	
LOT 1 - Level 4		71.3	
LOT 1 - R3 Occupancy		1843.8	
LOT 1 - U Occupancy		344.4	
LOT 1 Total		2171.3	
LOT 2 - Level 1		889	
LOT 2 - Level 2		807.3	
LOT 2 - Level 3		534	
LOT 2 - R3 Occupancy		1934	
LOT 2 - U Occupancy		356	
LOT 2 Total		2280.3	
LOT 3 - Level 1		639	
LOT 3 - Level 2		755.3	
LOT 3 - Level 3		636	
LOT 3 - R3 Occupancy		1647.7	
LOT 3 - U Occupancy		362.3	
LOT 3 Total		2910	
LOT 4 - Level 1		734.3	
LOT 4 - Level 2		620.4	
LOT 4 - Level 3		610.4	
LOT 4 - Level 4		131	
LOT 4 - R3 Occupancy		1668	
LOT 4 - U Occupancy		414.2	
LOT 4 Total		2882.9	
LOT 5 - Level 1		729.4	
LOT 5 - Level 2		660.3	
LOT 5 - Level 3		685.8	
LOT 5 - Level 4		128.8	
LOT 5 - R3 Occupancy		1842.8	
LOT 5 - U Occupancy		351.2	
LOT 5 Total		2294.1	
Overall Total		10,758.6	



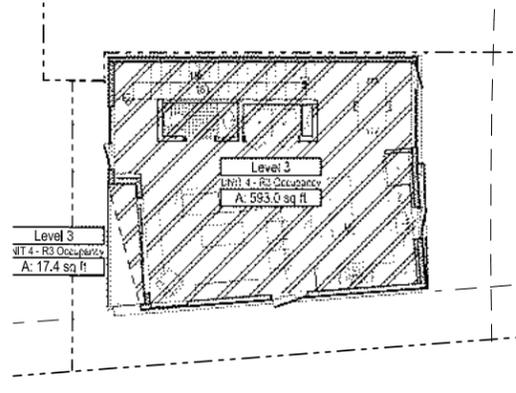
LOT 4 | Building Area - 1st Floor

SCALE: 1/8" = 1'-0"



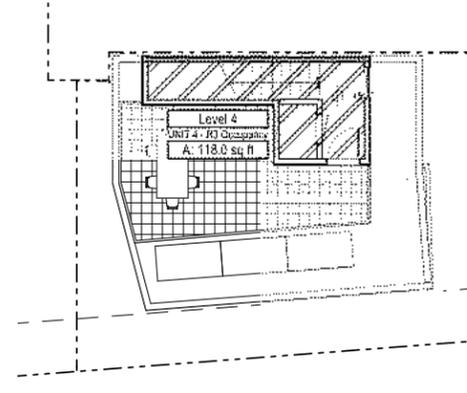
LOT 4 | Building Area - 2nd Floor

SCALE: 1/8" = 1'-0"



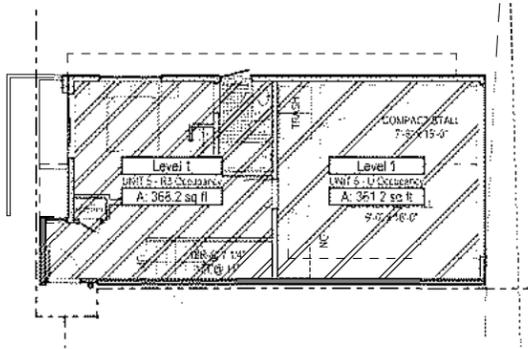
LOT 4 | Building Area - 3rd Floor

SCALE: 1/8" = 1'-0"



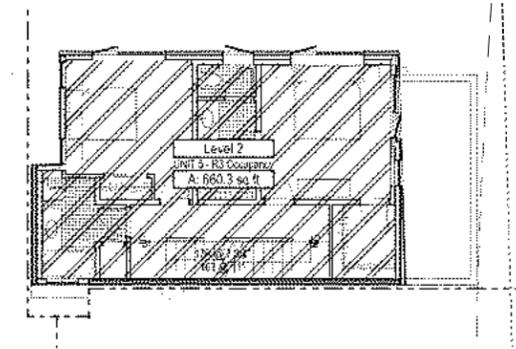
LOT 4 | Building Area - 4th Floor

SCALE: 1/8" = 1'-0"



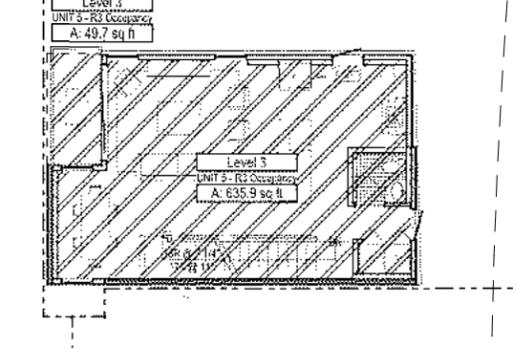
LOT 5 | Building Area - 1st Floor

SCALE: 1/8" = 1'-0"



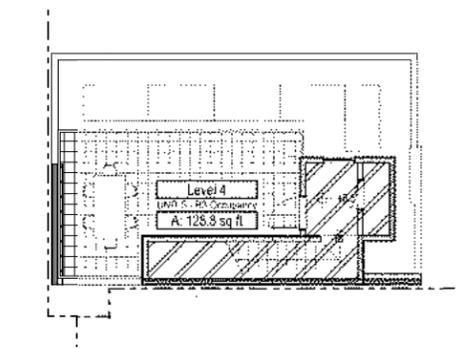
LOT 5 | Building Area - 2nd Floor

SCALE: 1/8" = 1'-0"



LOT 5 | Building Area - 3rd Floor

SCALE: 1/8" = 1'-0"



LOT 5 | Building Area - 4th Floor

SCALE: 1/8" = 1'-0"

BARRINGTON
SLS

3252 S BARRINGTON AVE
LOS ANGELES, CA 90066

KEY MAP

CLIENT

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NOTE: The drawings, specifications, ideas, designs, and arrangements represented throughout are and shall remain property of the architect and no part thereof shall be copied or disclosed to others or used in connection with any work or project other than the specific project for which they have been prepared and developed without the written consent of the architect. No construction activity shall start without contacting and/or seeing the architect for a preliminary meeting. No decision or change to the original design shall be made without written consent of the architect. Visual contact with these drawings or specifications shall constitute conclusive evidence of these restrictions.

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sheet name
Floor Area Calculations - Building Area

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sheet number

A1.3

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5 SINGLE-FAMILY HOMES
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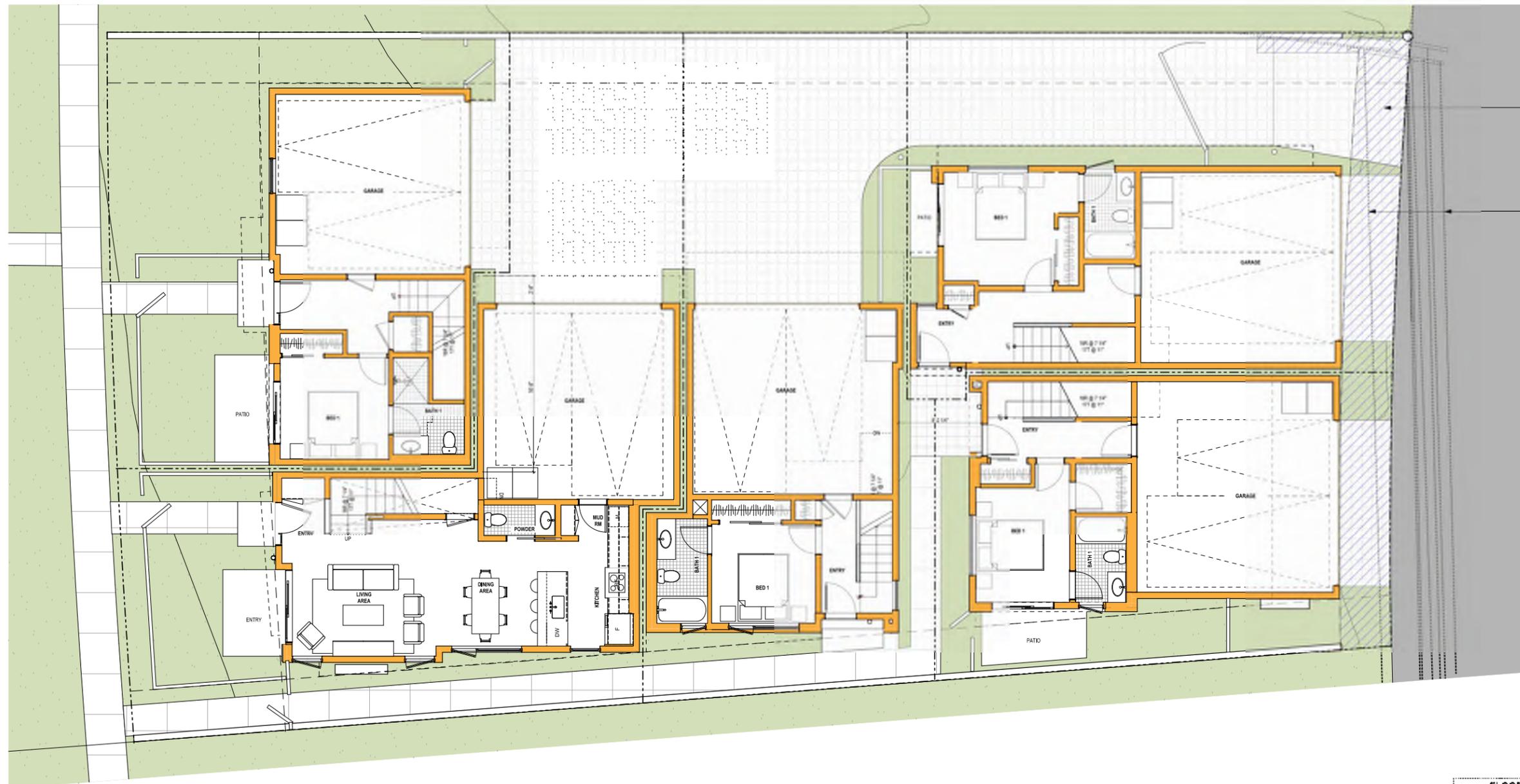
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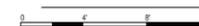
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Key Plans

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11/4/2025
sheet number

A2.0



Overall 1st Floor Plan
SCALE: 3/16" = 1'-0"



FLOOR PLAN LEGEND

SEE A6.2 FOR WALL/FLOOR TYPES

W1	Exterior Stucco 2x6 Wall	Class C Roof
W1+P	Ext Stucco 2x6 + Plumbing Wall	Deck Coating
W2	Exterior Wd Siding 2x6 Wall	
W2+P	Ext Siding 2x6 + Plumbing Wall	
W3	Exterior Fiber Cement 2x6 Wall	
W4	Typ 2x6 Demising Wall	
W4+P	Demising + Plumbing Wall	
W5	Typ Interior 2x4 Wall (or x6)	
W5F	Interior 2x6 Wall + Type X	
W5P	Interior 2x6 Plumbing Wall	
W5+P	Interior 2x6 + Plumbing Wall	
W6	Typ 8" CMU Wall	
W6+I	8" CMU + 2x4 interior Wall	
T1	Tile flooring	
W	Wood flooring	

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KEY MAP



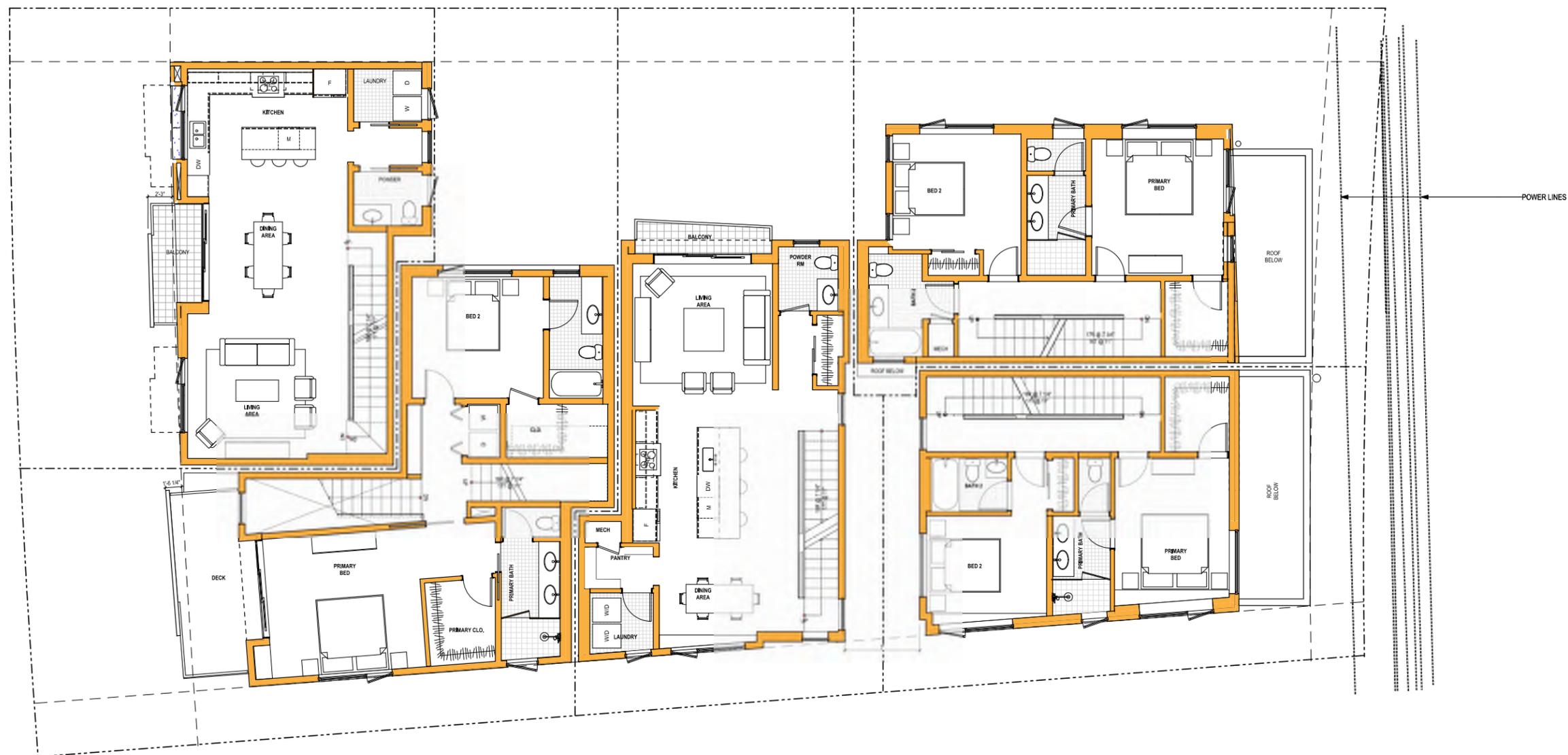
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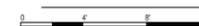
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Overall 2nd Floor Plan
 SCALE: 3/16" = 1'-0"



FLOOR PLAN LEGEND

SEE A6.2 FOR WALL/CORNER TYPES

W1	Exterior Stucco 2x6 Wall	Class C Roof
W1+P	Ext. Stucco 2x6 + Plumbing Wall	Deck Coating
W2	Exterior Wd Siding 2x6 Wall	
W2+P	Ext. Siding 2x6 + Plumbing Wall	
W3	Exterior Fiber Cement 2x6 Wall	
W4	Typ. 2x6 Demising Wall	
W4+P	Demising + Plumbing Wall	
W5	Typ. Interior 2x4 Wall (or x6)	
W5F	Interior 2x6 Wall + Type X	
W5P	Interior 2x6 Plumbing Wall	
W5+P	Interior 2x6 + Plumbing Wall	
W6	Typ. 8" CMU Wall	
W6+I	8" CMU + 2x4 Interior Wall	
Tile flooring		
Wood flooring		

sheet name
Key Plans

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 sheet number

A2.1

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5 SINGLE-FAMILY HOMES
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KEY MAP



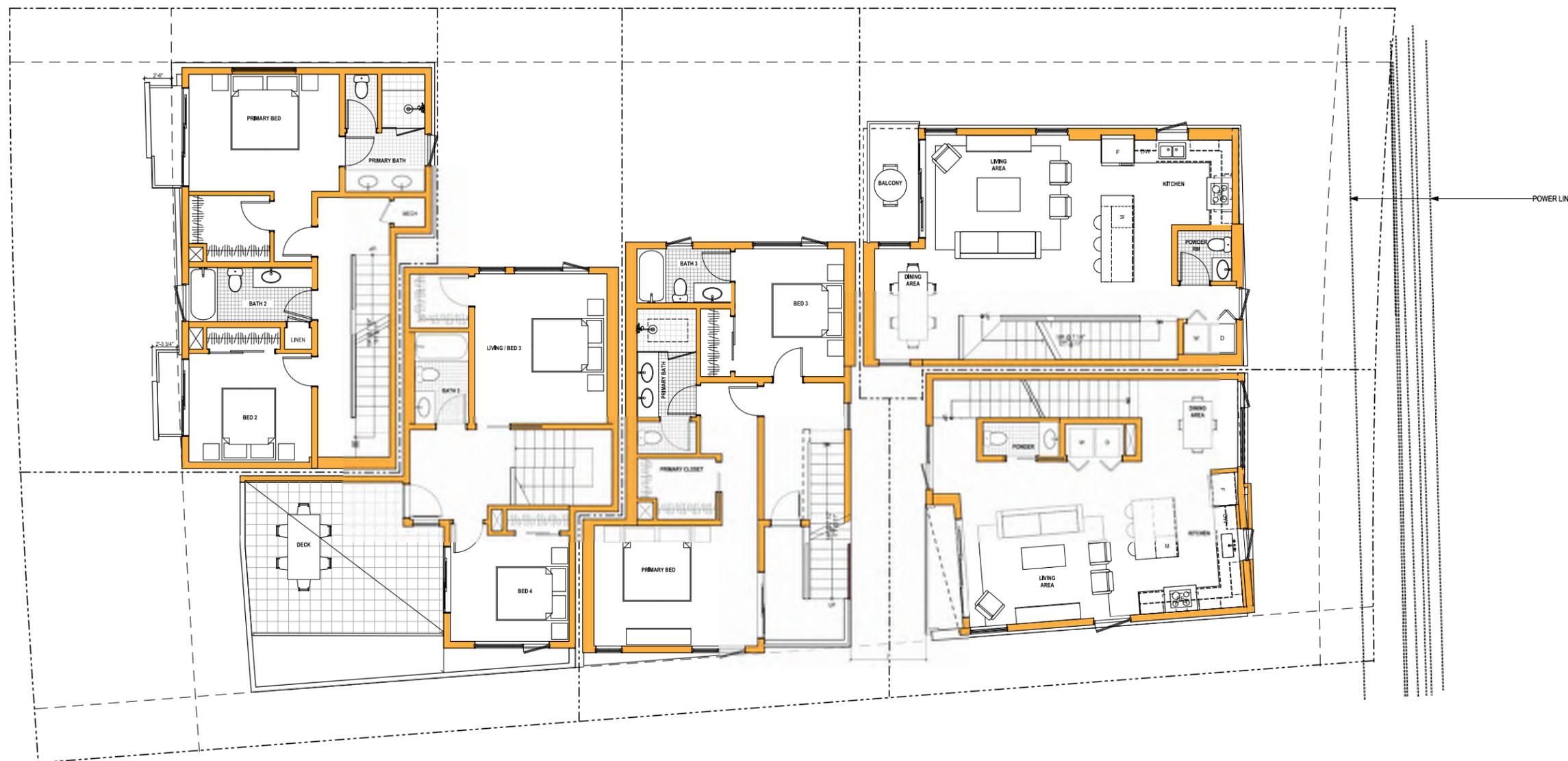
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Overall 3rd Floor Plan
 SCALE: 3/16" = 1'-0"

FLOOR PLAN LEGEND

SEE A6.2 FOR WALL/FLOOR TYPES

W1	Exterior Stucco 2x6 Wall	Tile flooring	Class C Roof
W1+P	Ext. Stucco 2x6 + Plumbing Wall	Wood flooring	Deck Coating
W2	Exterior Wd Siding 2x6 Wall		
W2+P	Ext. Siding 2x6 + Plumbing Wall		
W3	Exterior Fiber Cement 2x6 Wall		
W4	Typ. 2x6 Demising Wall		
W4+P	Demising + Plumbing Wall		
W5	Typ. Interior 2x4 Wall (or x6)		
W5F	Interior 2x6 Wall + Type X		
W5P	Interior 2x6 Plumbing Wall		
W5+P	Interior 2x6 + Plumbing Wall		
W6	Typ. 8" CMU Wall		
W6+I	8" CMU + 2x4 interior Wall		

sheet name
Key Plans

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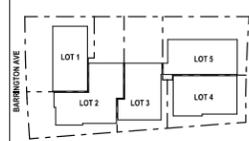
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BARRINGTON SLS

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 LOS ANGELES, CA 90066

5 SINGLE-FAMILY HOMES
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 SUBDIVISION

KEY MAP

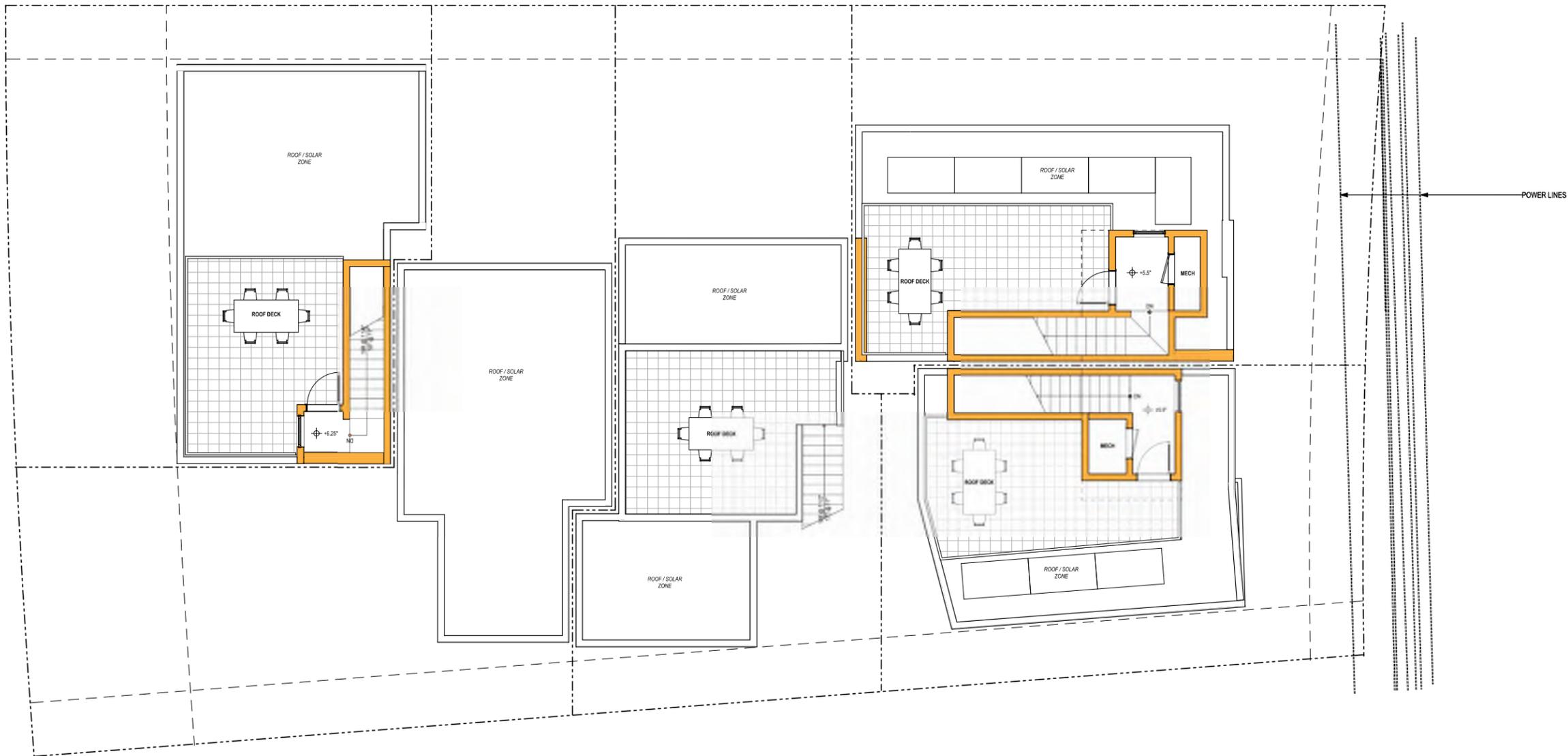


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Overall 4th Floor Plan
 SCALE: 3/16" = 1'-0"

FLOOR PLAN LEGEND
 SEE A6.2 FOR WALL/CORNER TYPES

W1	Exterior Stucco 2x6 Wall	Tile flooring	Class C Roof
W1+P	Ext. Stucco 2x6 + Plumbing Wall	Wood flooring	Deck Coating
W2	Exterior Wd Siding 2x6 Wall		
W2+P	Ext. Siding 2x6 + Plumbing Wall		
W3	Exterior Fiber Cement 2x6 Wall		
W4	Typ. 2x6 Demising Wall		
W4+P	Demising + Plumbing Wall		
W5	Typ. Interior 2x4 Wall (or x6)		
W5F	Interior 2x6 Wall + Type X		
W5P	Interior 2x6 Plumbing Wall		
W5+P	Interior 2x6 + Plumbing Wall		
W6	Typ. 8" CMU Wall		
W6+I	8" CMU + 2x4 interior Wall		

sheet name
Key Plans

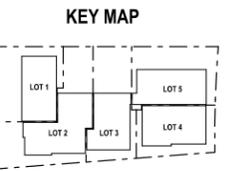
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A2.3

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5 SINGLE-FAMILY HOMES
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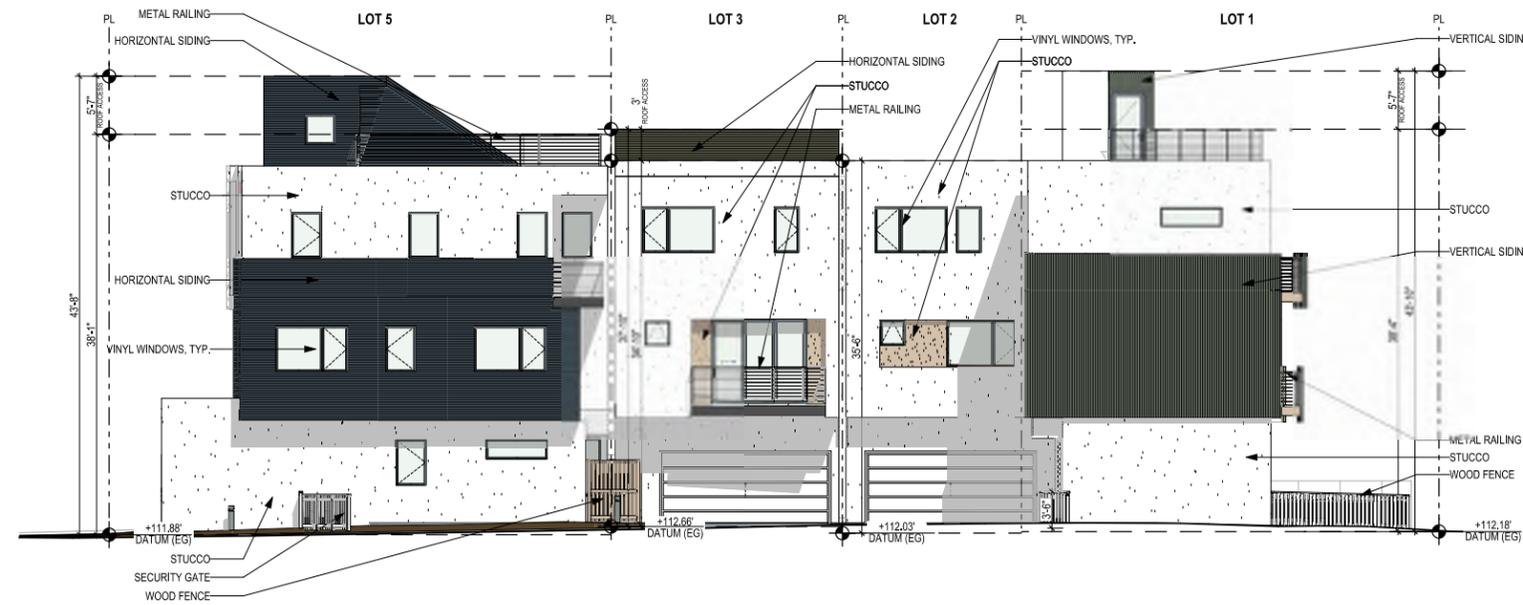
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sheet name
Elevations

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A3.0



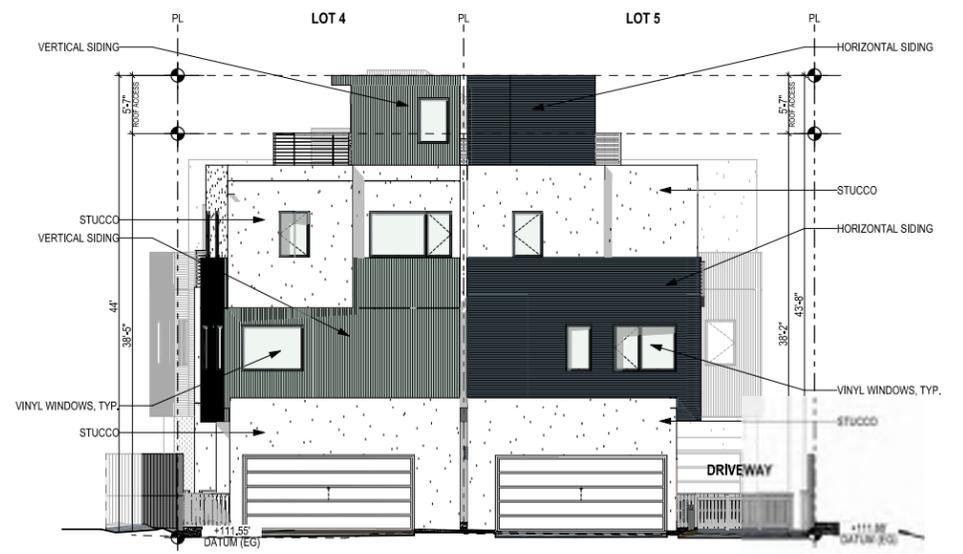
North Elevation - SD
 SCALE: 1/8" = 1'-0"



West Elevation - SD
 SCALE: 1/8" = 1'-0"



South Elevation - SD
 SCALE: 1/8" = 1'-0"



East Elevation - SD
 SCALE: 1/8" = 1'-0"

Material Legend

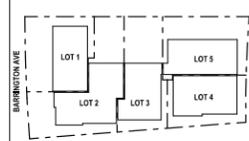


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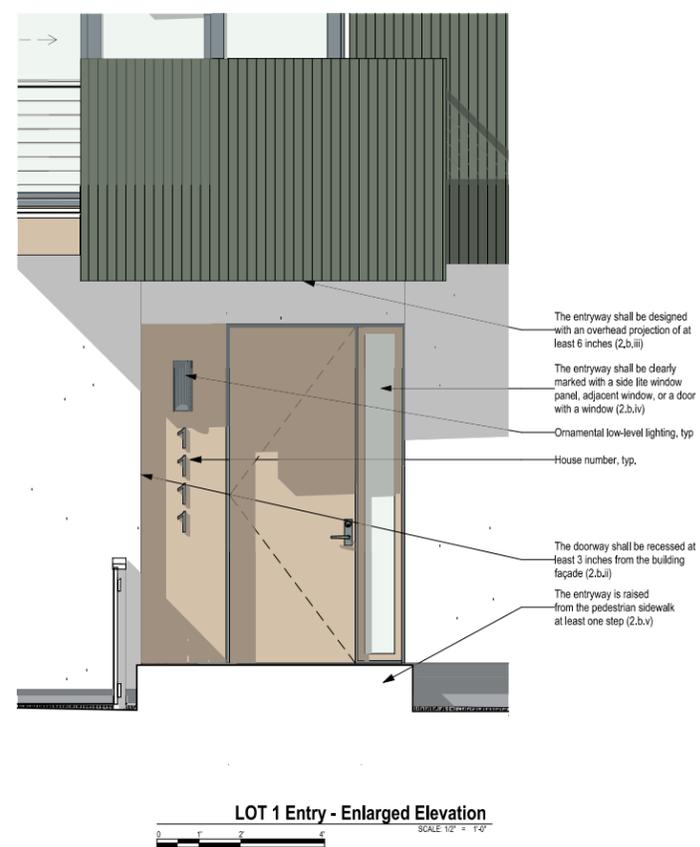
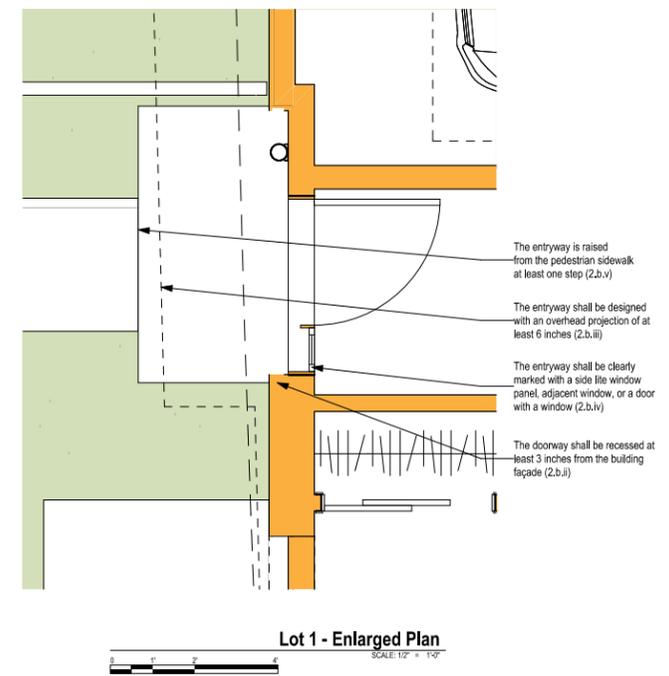
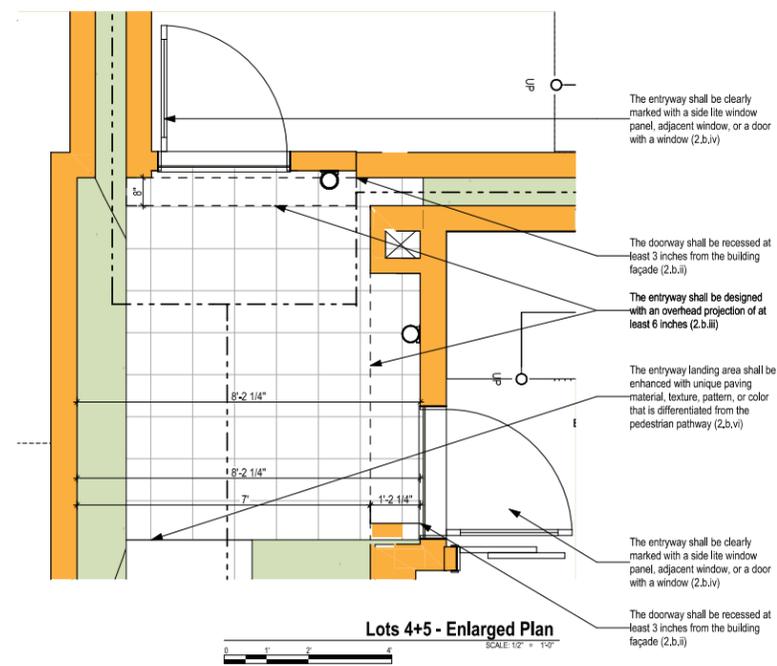
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sheet name
Small Lot Design Standards

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 11/4/2025
 sheet number

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PROJECT NOTES

GENERAL NOTES:

- A. CONTRACTOR TO VERIFY EXISTING TREE LOCATIONS IN FIELD.
- B. EXISTING TREE SPECIES AND HEALTH OF EXISTING TREE SPECIES ON SITE SHALL BE VERIFIED BY CLIENT APPOINTED ARBORIST.
- C. REMOVAL OF ANY EXISTING TREES SHALL BE DETERMINED BY ARBORIST AND CLIENT.
- D. PARKWAY GROUND COVER IS CONSIDERED 'STANDARD PARKWAY PLANTING MATERIAL' AS PER THE CITY OF LOS ANGELES RESIDENTIAL PARKWAY LANDSCAPING GUIDELINE.
- E. SEE ARCHITECT'S SITE PLAN FOR SETBACK DIMENSIONS.

TREE REPLACEMENT/EXISTING TREES

PLEASE REFER TO THE ARBORIST REPORT PERFORMED BY: LISA SMITH, THE TREE RESOURCE ON JULY 24TH, 2025.

- THERE ARE NO PROTECTED OR SIGNIFICANT TREES OR SHRUBS ON THE PROPERTY.
- THERE ARE NO STREET TREES IN THE PARKWAY CONSIDERED CITY OF LOS ANGELES STREET TREES.

GREEN BUILDING CODE NOTE:

FOR PROJECTS THAT INCLUDE LANDSCAPE WORK, THE LANDSCAPE CERTIFICATION, FORM GRN 12, SHALL BE COMPLETED PRIOR TO FINAL INSPECTION APPROVAL.

- A. RECIRCULATING WATER SYSTEMS SHALL BE USED FOR WATER FEATURES.
- B. A MINIMUM 3-INCH LAYER OF MULCH SHALL BE APPLIED ON ALL EXPOSED SOIL SURFACES OF PLANTING AREAS EXCEPT TURF AREAS, CREEPING OR ROOTING GROUNDCOVERS, OR DIRECT SEEDING APPLICATIONS WHERE MULCH IS CONTRAINDICATED.
- C. FOR SOILS LESS THAN 6% ORGANIC MATTER IN THE TOP 6 INCHES OF SOIL, COMPOST AT A RATE OF A MINIMUM OF FOUR CUBIC YARDS PER 1000 SQUARE FEET OF PERMEABLE AREA SHALL BE INCORPORATED TO A DEPTH OF SIX INCHES INTO THE SOIL.

PLANTING NOTES:

- A. PLANT QUANTITIES ARE PROVIDED FOR BIDDING CONVENIENCE ONLY. CONTRACTOR IS RESPONSIBLE FOR PROVIDING SUFFICIENT QUANTITIES OF MATERIAL EQUAL TO SYMBOL COUNT OR TO FILL AREA SHOWN ON PLAN AT SPACING SPECIFIED.
- B. PLANTS SHALL BE IN CONFORMANCE WITH THE CALIFORNIA STATE DEPARTMENT OF AGRICULTURE'S REGULATION FOR NURSERY INSPECTIONS, RULES, AND RATINGS. PLANTS SHALL BE HEALTHY, VIGOROUS, AND FREE OF INSECT INFESTATIONS, PLANT DISEASES, SUNSCALDS, FROSTBURNS, ABRASIONS, OR OTHER DISFIGUREMENT. PLANTS SHALL BE GROWN IN CLIMATIC CONDITIONS SIMILAR TO THAT OF THE PLANTING SITE, AND WELL HARDENED OFF. PLANTS SHALL HAVE VIGOROUS FIBROUS ROOT SYSTEMS WHICH ARE NOT ROOTBOUND OR POTBOUND. THE ARCHITECT IS THE SOLE JUDGE AS TO ACCEPTABILITY OF PLANT MATERIAL.
- C. SOIL TEST: CONTRACTOR SHALL HAVE IMPORT SOIL AND THE SOIL OF THE SITE TESTED FOR FERTILITY, AGRICULTURAL SUITABILITY, AND APPRAISAL BY SOIL AND PLANT LABORATORY INC. (714) 282-8777, OR WALLACE LABS (310) 615-0116.
- D. TREE LOCATIONS MAY BE ADJUSTED TO AVOID CONFLICTS WITH UNDERGROUND UTILITIES. CONSULT WITH LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE PRIOR TO ADJUSTMENT OF TREE LOCATIONS, ESPECIALLY THOSE ARRANGED ON A SPECIFIED MODULE OR IN A GRID PATTERN.
- E. NURSERY STAKES ARE TO BE REMOVED AFTER PLANTING TREES AND STAKING OR GUYING AS SHOWN ON PLANS.
- F. MULCH ALL AREAS (EXCEPT TURF, SLOPES GREATER THAN 3:1, OR AS NOTED ON PLANS)
- G. A MINIMUM 3-INCH LAYER OF MULCH SHALL BE APPLIED ON ALL EXPOSED SOIL SURFACES OF PLANTING AREAS EXCEPT TURF AREAS, CREEPING OR ROOTING GROUNDCOVERS, OR DIRECT SEEDING APPLICATIONS WHERE MULCH IS CONTRAINDICATED.
- H. WHERE GROUNDCOVER IS SHOWN ON PLANS: GROUNDCOVER PLANTING CONTINUES UNDER SHRUBS & TREES AT SPECIFIED SPACING. DO NOT PLANT GROUNDCOVER IN SHRUB/TREE WATERING BASINS.
- I. ALL PLANT MATERIAL SHALL BE APPROVED ON SITE PRIOR TO INSTALLATION. FINAL LOCATION OF ALL PLANT MATERIAL SHALL BE SUBJECT TO APPROVAL.
- J. DIG A HOLE TWICE AS DEEP AND WIDE AS THE PLANT'S CONTAINER. ADD ENOUGH BACKFILL MATERIAL INTO HOLE SO THAT THE TOP OF ROOT BALL WILL BE PLANTED ½ TO 1" HIGHER THAN SURROUNDING GRADE. FILL IN REMAINDER OF HOLE WITH BACKFILL MATERIAL. BACKFILL SHALL BE ½ AMENDMENT AND HALF NATIVE SOIL.
- K. CREATE IRRIGATION BASIN BERMS AROUND EACH PLANT.
- L. SHREDDED BARK MULCH RECOMMENDED TO BE ADDED 2-4" DEEP THROUGHOUT ENTIRE PLANTED AREA.
- M. DEVELOPER TO MAKE PROVISIONS FOR ON-OR OFF SITE RECYCLING OF ALL VEGETATIVE WASTE.
- N. CONTRACTOR TO USE CLASS I OR CLASS II COMPOST PRODUCED USING CITY ORGANIC MATERIALS (TOPGRO) IN A MAJORITY OF LANDSCAPED AREAS.

COMPLETE PLANT LIST

PLANT LIST: TREES AND HEDGE PLANTS							
SYMBOL	ABBREV	BOTANICAL NAME	COMMON NAME	QNTY	SIZE	NOTES	DROUGHT TOLERANCE
	MYR CAL	MYRICA CALIFORNICA	PACIFIC WAX MYRTLE	19	15 GA		LOW
	CHI LIN	CHILOPSIS LINEARIS	DESERT WILLOW	1	24" BOX		VERY LOW

PLANT LIST: SHRUBS /PERENNIALS							
SYMBOL	ABBREV	BOTANICAL NAME	COMMON NAME	QNTY	SIZE	NOTES	DROUGHT TOLERANCE
	ARC SUN	ARCTOSTAPHYLOS 'SUNSET'	SUNSET MANZANITA	13	5 GA		LOW
	RIB VIB	RIBES VIBURNIFOLIUM	EVERGREEN CURRANT	4	5 GA		LOW
	CAR CAL	CARPENTERIA CALIFORNICA	BUSH ANEMONE	4	15 GA		LOW
	RHA CAL	RHAMNUS CALIFORNICA 'LITTLE SUR'	LITTLE SUR COFFEEBERRY	24	5 GA		VERY LOW
	GAL SPE	GALVEZIA SPECIOSA	ISLAND SNAPDRAGON	12	1 GA		VERY LOW
	MIM AJR	MIMULUS AURANTIACUS	YELLOW STICKY MONKEY FLOWER	10	1 GA		LOW
	ENC CAL	ENCELIA CALIFORNICA	CALIFORNIA SUNFLOWER	13	1 GA		VERY LOW

PLANT LIST: GROUND COVERS AND VINES							
SYMBOL	ABBREV	BOTANICAL NAME	COMMON NAME	QNTY	SIZE	NOTES	DROUGHT TOLERANCE
	CAR PRA	CAREX PRAEGRACILIS	CLUSTERED FIELD SEDGE	818 SQ FT TOTAL	DIRT FLATS		MODERATE
	SAL BB	SALVIA BEE'S BLISS	CREEPING SAGE	9	1 GA		LOW
	MON VIL	MONARDELLA VILLOSA	COYOTE MINT	41	1 GA		LOW
	CLE LIG	CLEMATIS LIGUSTICIFOLIA	WESTERN VIRGIN'S BOWER	6	5 GA		LOW

NOTE: DROUGHT TOLERANT LEVELS BASED UPON WUCOLS IV DOCUMENT BY UC COOPERATIVE EXTENSION AND CALIFORNIA DEPARTMENT OF WATER RESOURCES. THIS SITE FALL UNDER REGION '3' ON THE EVALUATIONS RATING.

PROJECT SQUARE FOOTAGE BREAKDOWN:

- LOT AREA: 8,247.7 SQ FT
- BUILDABLE AREA: 5,835.5 SQ FT
- SOFTSCAPE SQUARE FOOTAGE (PLANTING BEDS AND DECOMPOSED GRANITE): 1,586.3 SQFT
- LANDSCAPE SQUARE FOOTAGE: 6,661.4 SQ FT
- LID REQUIREMENTS: THIS PROJECT IS EXEMPT FROM LID REQUIREMENTS BECAUSE IT IS UNDER 10,000 SF OF IMPERVIOUS SURFACE AREA

REQUIRED STATEMENTS AND CERTIFICATION

- 1) I HAVE COMPLIED WITH THE CRITERIA OF THE ORDINANCE AND APPLIED THEM FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE DESIGN PLANS.
- 2) A DIAGRAM OF THE IRRIGATION PLAN SHOWING HYDROZONES SHALL BE KEPT WITH THE IRRIGATION CONTROLLER FOR SUBSEQUENT MANAGEMENT PURPOSES. INSTALLER SHALL BE RESPONSIBLE FOR THIS DIAGRAM.
- 3) A CERTIFICATE OF COMPLETION SHALL BE FILLED OUT AND CERTIFIED BY THE LICENSED LANDSCAPE CONTRACTOR FOR THE PROJECT.
- 4) AN IRRIGATION AUDIT REPORT SHALL BE COMPLETED AT THE TIME OF FINAL INSPECTION. LANDSCAPE ARCHITECT SHALL NOT BE RESPONSIBLE FOR THIS ITEM.

'AT THE TIME OF FINAL INSPECTION, THE PERMIT APPLICANT MUST PROVIDE THE OWNER OF THE PROPERTY WITH A CERTIFICATE OF COMPLETION, CERTIFICATE OF INSTALLATION, IRRIGATION SCHEDULE AND A SCHEDULE OF LANDSCAPE AND IRRIGATION MAINTENANCE.'

GREEN BUILDING CODE NOTE:

FOR PROJECTS THAT INCLUDE LANDSCAPE WORK, THE LANDSCAPE CERTIFICATION, FORM GRN 12, SHALL BE COMPLETED PRIOR TO FINAL INSPECTION APPROVAL.

I AGREE TO COMPLY WITH THE REQUIREMENTS OF THE PRESCRIPTIVE COMPLIANCE OPTION OF THE MWEL0.

SIGNATURE: _____ DATE: 10/2025

'THE SUBDIVIDER SHALL RECORD A COVENANT AND AGREEMENT SATISFACTORY TO THE ADVISORY AGENCY GUARANTEEING THAT:

- A. THE PLANTING AND IRRIGATION SYSTEM SHALL BE COMPLETED BY THE DEVELOPER/BUILDER PRIOR TO THE CLOSE OF ESCROW OF 50 PERCENT OF THE UNITS OF THE PROJECT OR PHASE.
- B. SIXTY DAYS AFTER LANDSCAPE AND IRRIGATION INSTALLATION, THE LANDSCAPE PROFESSIONAL SHALL SUBMIT TO THE HOMEOWNERS/PROPERTY OWNERS ASSOCIATION A CERTIFICATE OF SUBSTANTIAL COMPLETION (12.40 G. LAMC.)
- C. THE DEVELOPER/BUILDER SHALL MAINTAIN THE LANDSCAPE AND IRRIGATION FOR 60 DAYS AFTER COMPLETION OF THE LANDSCAPE AND IRRIGATION INSTALLATION.
- D. THE DEVELOPER/BUILDER SHALL GUARANTEE ALL TREES AND IRRIGATION FOR A PERIOD OF SIX MONTHS AND ALL OTHER PLANTS FOR A PERIOD OF 60 DAYS AFTER LANDSCAPE AND IRRIGATION INSTALLATION.

AHJ STAMP

SWAMP PINK

3917 Lowell Avenue
Los Angeles, Ca 90032

ph | 323.394.9693
www.swamppink.com



PROJECT TITLE

BARRINGTON SLS

3252 S BARRINGTON AVE
LOS ANGELES, CA 90066

DEVELOPER

SHEET TITLE

PLANTING NOTES AND SCHEDULE

REVISIONS

DATE: 10/2025

DRAWN BY:

CHECKED:

PHASE:

PROJECT NO.

SHEET NO.

L1.1

SWAMP PINK

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Los Angeles, Ca 90032

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www.swamppink.com



PROJECT TITLE

BARRINGTON SLS

3252 S BARRINGTON AVE
LOS ANGELES, CA 90066

DEVELOPER

SHEET TITLE

PLANTING PLAN

REVISIONS

DATE: 10/2025

DRAWN BY:

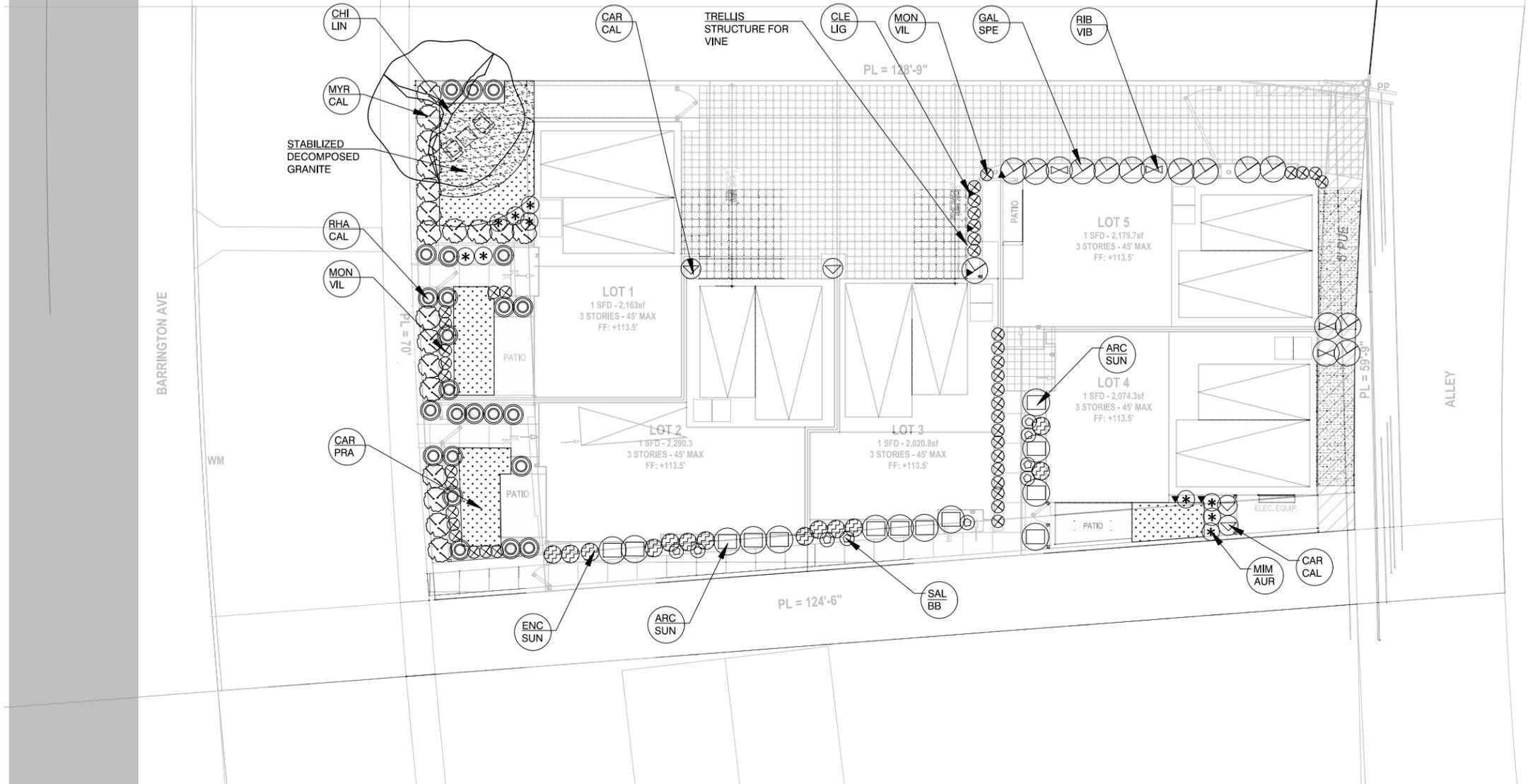
CHECKED:

PHASE:

PROJECT NO.

SHEET NO.

L1.2



PLANT LIST

PLANT LIST: TREES AND HEDGE PLANTS			
SYMBOL	ABBREV	BOTANICAL NAME	COMMON NAME
	MYR CAL	MYRICA CALIFORNICA	PACIFIC WAX MYRTLE
	CHI LIN	CHILOPSIS LINEARIS	DESERT WILLOW

PLANT LIST: SHRUBS /PERENNIALS			
SYMBOL	ABBREV	BOTANICAL NAME	COMMON NAME
	ARC SUN	ARCTOSTAPHYLOS 'SUNSET'	SUNSET MANZANITA
	RIB VIB	RIBES VIBURNIFOLIUM	EVERGREEN CURRRANT
	CAR CAL	CARPENTERIA CALIFORNICA	BUSH ANEMONE
	RHA CAL	RHAMNUS CALIFORNICA 'LITTLE SUR'	LITTLE SUR COFFEEBERRY
	GAL SPE	GALVEZIA SPECIOSA	ISLAND SNAPDRAGON
	MIM AUR	MIMULUS AURANTIACUS	YELLOW STICKY MONKEY FLOWER
	ENC CAL	ENCELIA CALIFORNICA	CALIFORNIA SUNFLOWER

PLANT LIST: GROUND COVERS AND VINES			
SYMBOL	ABBREV	BOTANICAL NAME	COMMON NAME
	CAR PRA	CAREX PRAEGRACILIS	CLUSTERED FIELD SEDGE
	SAL BB	SALVIA BEE'S BLISS	CREeping SAGE
	MON VIL	MONARDELLA VILLOSA	COYOTE MINT
	CLE LIG	CLEMATIS LIGUSTICIFOLIA	WESTERN VIRGIN'S BOWER



AHJ STAMP

TREES AND HEDGE PLANTS



CHILOPSIS LINEARIS
DESERT WILLOW
 25-30' TALL X 15' WIDE, PART SHADE TO FULL SUN
 VERY LOW WATER



MYRICA CALIFORNICA
PACIFIC WAX MYRTLE
 20" TALL X 10" WIDE
 SUN OR SHADE, LOW WATER



CARPENTERIA CALIFORNICA
BUSH ANEMONE
 6' TALL X 3' WIDE, PART SHADE TO SHADE
 LOW WATER

SHRUBS AND PERENNIALS



ARCTOSTAPHYLOS 'SUNSET
SUNSET MANZANITA
 3-5' TALL X 3-5' WIDE, FULL TO PART SUN
 LOW WATER
 CAN BE HEDGED



GALVEZIA SPECIOSA
ISLAND SNAPDRGAON
 2.5' TALL X 4' WIDE, FULL SUN TO PART SHADE
 VERY LOW WATER



MIMULUS AURANTIACUS
STICKY MONKEY FLOWER
 2-4' TALL X 3' WIDE
 FULL TO PARTIAL SUN, LOW WATER



RIBES VIBURNIFOLIUM
EVERGREEN RIBES
 3' TALL X 3' WIDE, PARTIAL SUN
 LOW WATER



RHAMNUS CALIFORNICA 'LITTLE SUR'
LITTLE SUR COFFEEBERRY
 3-4' TALL X 3-4' WIDE, FULL TO PART SUN, VERY LOW WATER
 EVERGREEN



ENCELIA CALIFORNICA
CALIFORNIA SUNFLOWER
 2-4" TALL X 2-4' WIDE, SUN
 VERY LOW WATER

AHJ STAMP

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PROJECT TITLE

BARRINGTON SLS

3252 S BARRINGTON AVE
 LOS ANGELES, CA 90066

DEVELOPER

SHEET TITLE

PLANT IMAGE SHEET

REVISIONS

DATE: 10/2025

DRAWN BY:

CHECKED:

PHASE:

PROJECT NO.

SHEET NO.

L1.3

GROUND COVER



MONARDELLA VILLOSA
COYOTE MINT
2' TALL X 2' WIDE
PARTIAL SHADE TO SHADE, LOW WATER



SALVIA 'BEES BLISS'
CREEPING SAGE HYBRID
1' TALL X 6' WIDE
FULL TO PART SUN, LOW WATER

LAWN ALTERNATIVE THAT CAN BE MOWED

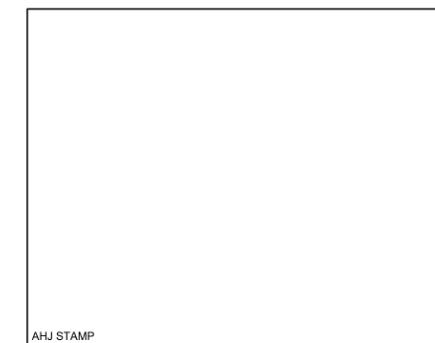


CAREX PRAEGRACILIS
CLUSTERED FIELD SEDGE
1' TALL AND SPREADING
SUN OR SHADE, MODERATE WATER
CAN BE MOWED LIKE A LAWN

VINES



CLEMATIS LIGUSTICIFOLIA
WESTERN VIRGIN'S BOWER
CLIMBER, DECIDUOUS
PART SUN TO SHADE, LOW WATER



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PROJECT TITLE

BARRINGTON SLS

3252 S BARRINGTON AVE
LOS ANGELES, CA 90066

DEVELOPER

SHEET TITLE

PLANT IMAGE SHEET

REVISIONS

DATE: 10/2025

DRAWN BY:

CHECKED:

PHASE:

PROJECT NO.

SHEET NO.

L1.4



ADMINISTRATIVE REVIEW

SMALL LOT DESIGN STANDARDS (SLD)
Administrative Review

RELATED CODE SECTION: Los Angeles Municipal Code Section 12.22 C.27(a)(2) authorizes the Director of Planning's review for compliance with the Commission's Small Lot Design Standards.

GENERAL INFORMATION

New Applications - This application and full set of architectural plans as listed below shall be filed concurrently with any small lot subdivision application request (Vesting Tentative Tract or Preliminary Parcel Map) and along with any applicable Geographic Project Planning Referral Form (CP-7812).

Modifications to Approved Projects (Deemed Complete After April 18, 2018) - Any subsequent modifications to architectural plans found not to be in substantial compliance with the originally approved Exhibit A shall be required to file a new application for Administrative Clearance and pay all applicable fees concurrently with a building permit application for a small lot project ("Project").

Determining a Project:

For the purposes of Small Lot Administrative Clearance application, the term "Project" includes the erection or construction, reconstruction, rehabilitation, relocation, addition to, or exterior alteration of any building or structure, which require the issuance of a demolition permit, grading permit, or building permit. Projects include the preservation of existing structures in a single lot and the subdivision of land for Small Lot purposes. A Project excludes work that consists solely of interior remodeling, interior rehabilitation or repair work that does not result in alterations to the facade or change in floor area. The following are examples of building permits that are generally exempt from administrative review:

- Re-roof with no alterations to the existing roof form, roof details, eave depth, eave details, or facades of the buildings
In-ground swimming pools where permitted by the LAMC
Roof-mounted solar modules
Maintenance, repair, and/or rehabilitation of existing foundations
Maintenance, repair, and/or rehabilitation of existing window and door treatments
Mechanical equipment
Exterior lighting

1. SUBMITTAL REQUIREMENTS

Size and Number of Copies: Provide one full size and five (5) 11"x17" color copies of architectural plans containing the following:

- Site Plan
Contextual and Dimensioned Floor Plans
Detailed Elevations
Roof Plan
Materials Sheet
Renderings
Landscape Plan (See Technical Requirements applicable to all landscape plans of form CP-6730)

2. APPLICANT INFORMATION

Applicant Name
Address
City
Telephone
Unit/Space Number
State
Zip
E-mail

3. CASE INFORMATION

Administrative Clearance Case Number
Existing Zone
Existing Use
Tract/Parcel Map Case Number
Proposed Zone (If Applicable)
Proposed Use
Additional Case Number (If applicable)
General Plan Land Use Designation

4. PROJECT SUMMARY

Project Address: _____
 Community Plan Area: _____
Specific Plan, DRB, CDO, POD, NOD, CPIO or SN, including subarea if applicable: _____

Small Lot Subdivision Type (check all that apply)

- New construction Small Lot Subdivision of Existing Dwelling Unit/s** Renovation/Addition

** If your project involves the small lot subdivision of existing dwelling units, please describe the proposed alterations.

(Please note that any nonconforming building, structure or improvements may be maintains or repaired or structurally altered provided it conforms to LAMC Section 12.23-A):

5. PROJECT DETAILS

Proposed number of lots: _____ Proposed number of small lot homes: _____
 Maximum building height: _____ Number of stories: _____
 Roof deck(s) proposed: Yes No Maximum building height with railing: _____
 Total number of parking spaces provided: _____ Number of guest parking spaces provided (If applicable): _____
 Common open space provided: Yes No Size of common open space: _____

The following section shall be completed by City Planning staff at the time of filing:

6. ACCEPTANCE FOR FILING

Project Type

- New Construction
 Change of use from apartment unit to Small Lot Home
 Modification to an existing Small Lot Home that constitutes a Project
 Not a Project

Planning Signature	Phone Number
Print Name	Date
Receipt Number	Fee Miscellaneous sign off – Director

Small Lot Design Standards Checklist

To be completed by applicant and subsequently verified by Project Planners during project review.

A. BUILDING DESIGN

1. Dwelling Orientation

- a. Small Lot Homes abutting a right-of-way, including a public street, walk street, public stairways ("right-of-way") or private street shall orient the primary entryway ("front door") toward the right-of-way or, where there is a physical site constraint, shall provide a clearly identifiable pedestrian entry to the site from the right-of-way.
- b. Small Lot Homes located in the interior of the subdivision shall orient the primary entryway toward and be visible from a pedestrian pathway that is connected to the right-of-way.
- c. Small Lot Homes that abut an alley shall orient the primary entryway toward the alley or shall be connected to a pedestrian pathway that leads directly to a right-of-way.

2. Primary Entryways

- a. All Small Lot Homes shall have a primary entryway. All primary entryways shall provide the address or unit identification, ornamental low-level lighting to illuminate the entry area, and a landing area.
- b. All primary entryways shall incorporate at least four of the following elements:
 - i. The entryway shall be recessed at least 2 feet from the building façade to create a covered porch or landing area.
 - ii. The doorway shall be recessed at least 3 inches from the building façade.
 - iii. The entryway shall be designed with an overhead projection of at least 6 inches such as an awning or other architectural design features so as to distinguish the front door from the rest of the building façade, unless prohibited by LAMC Section 12.22 C.20.
 - iv. The entryway shall be clearly marked with a side lite window panel, adjacent window, or a door with a window.
 - v. The entryway shall be raised or sunken at least one stair step from the pedestrian pathway.
 - vi. The entryway landing area shall be enhanced with unique paving material, texture, pattern, or color that is differentiated from the pedestrian pathway.

3. Primary Entryways Between Small Lot Homes

- a. Small Lot Homes shall provide at least an 8-foot separation between the face of a primary entryway of a Small Lot Home and the adjacent building wall of a neighboring Small Lot Home. The separation may include projections as listed in 2.b.iii above, but be clear to sky for a minimum of 7 feet. The separation shall be measured along the portion of the pedestrian pathway that provides access to the entryway.

	Yes	No	N/A	Plan Sheet	Administrative Use Only
a. Small Lot Homes abutting a right-of-way, including a public street, walk street, public stairways ("right-of-way") or private street shall orient the primary entryway ("front door") toward the right-of-way or, where there is a physical site constraint, shall provide a clearly identifiable pedestrian entry to the site from the right-of-way.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	_____	<input type="checkbox"/>
b. Small Lot Homes located in the interior of the subdivision shall orient the primary entryway toward and be visible from a pedestrian pathway that is connected to the right-of-way.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	_____	<input type="checkbox"/>
c. Small Lot Homes that abut an alley shall orient the primary entryway toward the alley or shall be connected to a pedestrian pathway that leads directly to a right-of-way.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	_____	<input type="checkbox"/>
2. Primary Entryways					
a. All Small Lot Homes shall have a primary entryway. All primary entryways shall provide the address or unit identification, ornamental low-level lighting to illuminate the entry area, and a landing area.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	_____	<input type="checkbox"/>
b. All primary entryways shall incorporate <u>at least four of the following elements</u> :					
i. The entryway shall be recessed at least 2 feet from the building façade to create a covered porch or landing area.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	_____	<input type="checkbox"/>
ii. The doorway shall be recessed at least 3 inches from the building façade.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	_____	<input type="checkbox"/>
iii. The entryway shall be designed with an overhead projection of at least 6 inches such as an awning or other architectural design features so as to distinguish the front door from the rest of the building façade, unless prohibited by LAMC Section 12.22 C.20.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	_____	<input type="checkbox"/>
iv. The entryway shall be clearly marked with a side lite window panel, adjacent window, or a door with a window.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	_____	<input type="checkbox"/>
v. The entryway shall be raised or sunken at least one stair step from the pedestrian pathway.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	_____	<input type="checkbox"/>
vi. The entryway landing area shall be enhanced with unique paving material, texture, pattern, or color that is differentiated from the pedestrian pathway.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	_____	<input type="checkbox"/>
3. Primary Entryways Between Small Lot Homes					
a. Small Lot Homes shall provide at least an 8-foot separation between the face of a primary entryway of a Small Lot Home and the adjacent building wall of a neighboring Small Lot Home. The separation may include projections as listed in 2.b.iii above, but be clear to sky for a minimum of 7 feet. The separation shall be measured along the portion of the pedestrian pathway that provides access to the entryway.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	_____	<input type="checkbox"/>

4. Façade Articulation

- a. Façades facing a right-of-way, the project perimeter, and all portions of exterior building elevations located greater than 7 feet from an adjacent Small Lot Home, shall be treated with an equal level of detail and articulation, and shall incorporate all of the following façade articulation techniques:
 - i. Change in exterior building materials to include at least two high-quality building façade materials that accentuate or correspond to variations in building massing. Building materials may include, but are not limited to: wood, glass, brick, metal spandrel, cement board siding, or tile.
 - ii. Porticos, awnings, terraces, balconies, eyebrows, or trellises of at least 6 inches in depth that provide variations in the building plane.
 - iii. Window treatments that are extruded or recessed from the building façade a minimum of 3 inches. Windows or doors that are flush with the plane of the building (rather than extruded or recessed at least 3 inches) will not qualify as facade articulation.
 - iv. A break in the façade plane of a minimum of 6 inches in depth that is applied to at least 10 vertical feet of the facade.
 - v. Other additional architectural enhancements to the floor of the primary entrance and below, so as to create a human scale to the building. Examples include handrails, fixed planters, and ornamental details, such as lighting, molding, or tiles.

5. Varied Roofline

- a. For any Small Lot Home façade fronting a right-of-way exceeding two stories in height, the roofline shall be articulated by incorporating two of the following:
 - i. A roof with a slope equal to or greater than 2 inches to 12 inches, including but not limited to a sloped or curved roofline at the top of the dwelling.
 - ii. A flat roof with a minimum of 2 feet vertical height difference for a minimum of 10 horizontal feet along the roofline of each building façade.
 - iii. A break in façade plane of a minimum of 6 inches in depth that is carried up to the roofline.
 - iv. Any form of roofline modulation such as a step back, an outdoor stairwell, or a corner balcony.

6. Roof Decks

- a. All roof decks along the project perimeter and abutting residential uses shall be stepped back a minimum of 5 feet from the roof edge, so that they are oriented away from and screened to prevent direct views of abutting residential neighbors. Roof decks facing a right-of-way are not required to be stepped back.

Yes	No	N/A	Plan Sheet	Administrative Use Only
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	_____	<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	_____	<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	_____	<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	_____	<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	_____	<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	_____	<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	_____	<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	_____	<input type="checkbox"/>

7. Building Massing Variation

- a. Small Lot Homes shall be grouped into clusters to avoid long spans of building wall. Clusters of Small Lot Homes shall be no more than six Small Lot Homes in a single continuous row or 180 linear feet, whichever is smaller. Clusters of Small Lot Homes shall be separated with a building gap of a minimum of 6 feet in width, which shall be treated with a combination of landscaping, open space, and common walkways or driveways.
- b. Small Lot Homes in a single row shall provide a lateral shift or break in the façade of a minimum of 6 inches for every three Small Lot Homes or 90 linear feet, whichever is smaller.
- c. Small Lot Homes shall be unique in design so that there is variety between Small Lot Homes within a subdivision. For a Small Lot Subdivision containing more than six Small Lot Homes in a single row, there shall be at least two variations in building design, such as changes in dwelling orientation, primary entryways, fenestration pattern, façade articulation, or varied roofline as prescribed in Subsections 1-5. For a Small Lot Subdivision of 20 or more Small Lot Homes, there shall be at least three variations in building design as stated above.

Yes	No	N/A	Plan Sheet	Administrative Use Only
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	_____	<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	_____	<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	_____	<input type="checkbox"/>
B. PEDESTRIAN CONNECTIVITY AND ACCESS				
1. Pedestrian Pathways				
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	_____	<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	_____	<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	_____	<input type="checkbox"/>
2. Fences/Walls				
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	_____	<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	_____	<input type="checkbox"/>
C. LANDSCAPING				
1. Landscaping, Common Open Space Areas and Amenities				
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	_____	<input type="checkbox"/>

- b. Required Common Open Space Areas must:
 - i. Be open to the sky and have no structures that project into the common open space area, except as provided in Section 12.22 C.20 (b).
 - ii. Be located at grade level, contiguous or connected, and readily accessible to all residents of the site.
 - iii. Have a minimum area of 300 sq. ft. with no horizontal dimension less than 15 feet when measured perpendicular from any point on each of the boundaries of the open space area. Driveways, parking spaces, or pedestrian pathways cannot be counted toward the open space requirement.
- c. The combination of required Common Open Space Areas shall be multifunctional and designed to accommodate a range of passive, active, or social uses, with enhancements such as landscaping, activity lawns, swimming pools, spas, picnic tables, benches, children's play areas, ball courts, barbecue areas, sitting areas, decorative bike racks, and/or dog washing stations. Common open space areas may include enhanced side yards and rear yards that meet the minimum area and dimension requirement above.
- d. All yards of a subdivision abutting the right-of-way shall be improved with landscaping (combination of groundcover, shrubs, and trees) and amenities. Amenities may include: decorative fencing, uncovered patios, enhanced pedestrian pathways, garden walls, seating areas, and/or decorative bike racks.

Yes	No	N/A	Plan Sheet	Administrative Use Only
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	_____	<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	_____	<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	_____	<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	_____	<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	_____	<input type="checkbox"/>

D. MIXED USE SMALL LOTS

Small Lot Subdivisions may provide Small Lot Homes that contain commercial uses at the ground floor (“Mixed Use Small Lot Homes”). Mixed Use Small Lots must comply with all other applicable regulations governing the site with regards to parking, signage, access, and FAR limitations in the LAMC. The following Design Standards shall be required for any Mixed Use Small Lot Home in addition to the other Design Standards contained in this document.

1. Building Orientation and Entry

- a. Mixed Use Small Lot Homes shall be first located along the perimeter of the subdivision abutting the right-of-way.
- b. A Mixed Use Small Lot Home shall provide a separate ground floor entrance to the commercial use, or an identifiable lobby that serves both the residential and commercial uses. The commercial entrance shall be directly accessible from the right-of-way and open during the normal business hours posted by the business.

2. Building Design

- a. A Mixed Use Small Lot Home shall be designed with an identifiable ground floor commercial component.
- b. Store entrances shall be recessed, not flush, with the edge of the building facade to articulate the storefront and provide shelter for persons entering and exiting.
- c. The ground floor commercial use shall be visually separated from upper residential floors, with a façade treatment such as an awning, framing, setback, or overhang of at least 18 inches in depth, so as to distinguish the commercial base of the building.

<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	_____	<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	_____	<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	_____	<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	_____	<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	_____	<input type="checkbox"/>

- d. The storefront of a ground floor non-residential use that fronts a right-of-way shall consist of at least fifty percent transparent windows and doors, unless otherwise prohibited by other sections of the L.A.M.C.
- e. Signage for the ground floor commercial use shall be located at or adjacent to the ground level, and be located no higher than 14 feet.

Yes	No	N/A	Plan Sheet	Administrative Use Only
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	_____	<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	_____	<input type="checkbox"/>

E. BUNGALOW COURTS AND EXISTING STRUCTURE SMALL LOTS

Existing bungalow courts and detached single, duplex, or triplex dwelling structures may be subdivided in accordance with the 2018 Small Lot Code Amendment. The conversion of an existing "Bungalow Court or Existing Structure" to a Small Lot Subdivision shall only be required to comply with the following Design Standards.

1. Common Access Driveway

- a. Existing Common Access Driveways, pedestrian pathways, and central common open space areas shall be maintained and not reduced in size.

2. Pedestrian Pathway

- a. Pedestrian pathways of a minimum width of 3 feet shall be provided from the public rights-of-way to all primary entryways and common areas, such as centralized trash enclosures, guest parking, and open space easements. If narrower pathways exist, they may be maintained in the same footprint and area and shall not be further reduced in width.

3. Existing Structures

- a. New dwelling construction or additions to a designated or identified historic structure shall be in conformance with the Secretary of the Interior's Standards for Rehabilitation.

4. New Dwellings

- a. All new dwellings proposed in addition to a Bungalow Court or Existing Structure Small Lot project shall also meet the applicable design standards in sections A, B, and C of the Small Lot Design Standards. 5. Landscaping All open areas not used for buildings, parking areas, driveway, pedestrian pathways, utilities, or amenity areas shall be attractively landscaped and maintained.

<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	_____	<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	_____	<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	_____	<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	_____	<input type="checkbox"/>

Additional Design Details

The following section shall be completed by Project Planning staff after the review and approval of submitted plans:

8. ADMINISTRATIVE CLEARANCE APPROVAL

Planning Signature	Phone Number
Print Name	Date

INSTRUCTIONS: Administrative Clearance – SLD

1. **Submittal** - Applicants are required to submit a completed Administrative Clearance Application, including the project summary and checklist, at the time of Administrative Clearance filing.
2. **Review Materials** - Review of the application by an assigned project planner will verify if the project meets the requirements of the Small Lot Design Standards.
3. **Timing of Review** - The Administrative Clearance shall be completed prior to the scheduling of any required hearing for a proposed small lot subdivision map. In cases where a hearing has been waived, this review shall be completed prior to the issuance of the subdivision determination.
4. **Relief** - The Administrative Clearance does not provide any relief mechanisms for project applicants. Applicants are required to demonstrate compliance with all applicable design standards.
5. **Appeal Rights** - The Administrative Clearance process is non-appealable.
6. **Conditions of Approval** - As a condition of approval, all small lot subdivisions, including Vesting Tentative Tract Maps and Preliminary Parcel Maps, shall be required to conform to the plans approved during the Administrative Clearance review process. These plans shall be stamped Exhibit A and included in the related subdivision map case file.
7. **Building Permit Clearance** - Following the entitlement approval of a small lot subdivision map, subsequent building permit applications for the new construction of said map's small lot homes shall be in substantial conformance with the most recently approved set of plans.
8. **Other Applicable Approvals** - Applicants are strongly advised to consult with the Los Angeles Department of Building and Safety (LADBS) to ascertain if there are any other issues or necessary approvals associated with the project/site which should be resolved prior to filing. The design of the proposed project may require alterations in order to comply with the Los Angeles Municipal Code.
9. **Modifications to Projects Deemed Complete after April 18, 2018** - If a project's architectural plans are modified subsequent to the initial approval of the project and determined by the Department of City Planning to no longer be in substantial compliance with Exhibit A, the applicant shall file a new application for Administrative Clearance and pay all applicable fees.
10. **Exceptions** - The following projects are not required to file an Administrative Clearance pursuant to L.A.M.C. Section 12.22 C.27(c):
 - a. Any small lot subdivision entitlement application filed, accepted and deemed complete prior to April 18, 2018, as determined by the Department of City Planning.
 - b. Any project for which the City has approved a small lot subdivision discretionary land use entitlement as of April 18, 2018, but that has not yet submitted plans and appropriate fees to the Department of Building and Safety for plan check, as determined by the Department of City Planning.

City of Los Angeles Department of City Planning website: <http://planning.lacity.org>

APPLICATIONS



SUBDIVIDER'S STATEMENT Tentative Tract Map

THIS BOX FOR CITY PLANNING STAFF USE ONLY

Case No.: _____

Environmental Case No.: _____

Related Case Nos.: _____

Case Filed With (Print Name): _____ Date Filed: _____

THIS SECTION TO BE COMPLETED BY THE APPLICANT

Missing, incomplete, or inconsistent information will cause delays.

All terms in this document are applicable to the singular as well as the plural forms of such terms.

Refer to the Tract Map Filing Instructions ([CP-6110](#)) for more information.

Street Address: 3252 S Barrington Ave Los Angeles, CA 90066

Legal Description (Lot, Block, Tract): Lot 80 of TR 14317

Assessor Parcel Number(s): 4250-010-009

Total Number of Lots: 1

Number of Ground Lots: 5 Airspace Lots: 0

Tract Area: 0.189 net acres; 0.285 gross acres; 8,234 net square feet after required dedication

TRACT PROPOSED FOR:	UNITS/SQ. FT.	PARKING	+ GUEST PARKING ¹
SINGLE-FAMILY	5 SFDs/8053.9 Sq. Ft.	10 Spaces	0
Apartments	_____	_____	+ _____
Residential Condominiums (Condos)	_____	_____	+ _____
Residential Condo Conversion	_____	_____	+ _____
COMMERCIAL			
Commercial Condos	_____	_____	
Commercial Condo Conversion	_____	_____	

¹ Multiple dwelling projects only.

TRACT PROPOSED FOR:

UNITS/SQ. FT.

PARKING

+ GUEST PARKING²

INDUSTRIAL

Industrial Condos

Industrial Condo Conversion

Reversion to Acreage

Stock Cooperative

_____ + _____

Other (specify): _____

Number/type of units to be demolished _____

TREES AND SHRUBS

Are there any protected trees or shrubs (Oaks [excluding Scrub Oak], Western Sycamore, California Bay, Southern California Black Walnut, California Bay, Mexican Elderberry, and/or Toyon) on this property?

YES

NO

If YES,

How many, and of which species? _____

How many are 4 inches or more in diameter? _____

How many absolutely must be removed? _____

Are there other trees 12 inches or more in diameter?

YES

NO

If YES,

How many? _____

How many must be removed? _____

Indicate type and trunk diameter of each tree, and whether the tree is to be retained or removed, on a tree map superimposed on the tentative map. Attach a list, if necessary.

Notice of incomplete application will be issued if the tree information is not included.

² Multiple dwelling projects only.

HILLSIDE, GRADING, AND HAZARDS

Is the proposed tract:

In a slope stability study (hillside) area?

YES NO

In a fault rupture study area?

YES NO

Is subdivision within the vicinity of the Mulholland Scenic Parkway?

YES NO

Is proposed tract in a flood hazard area, hillside area, floodway or mudprone area?

YES NO

If **YES**, submit the Information for Development in Hazard, Flood Hazard and Hillside Area ([CP-6114](#)) form.

Is a haul route approval being requested at this time?

YES NO

If **YES**, complete the Haul Route ([CP-6119](#)) form.

Are there any existing or formerly used gasoline, oil, gas pipelines or wells within the project site?

YES NO

If **YES**, show all easements on tentative tract map.

TENANT INFORMATION FOR DEMOLITIONS AND CONDOMINIUM CONVERSIONS

Complete and attach the Tenant Information Chart ([CP-6345](#)). For conversions, provide Proof of Tenant Notification as detailed in Tentative Tract Map Filing Instructions and Checklist ([CP-6110](#)).

CONDOMINIUM CONVERSIONS

If the tract is for condominium or cooperative conversion purposes, provide the information below. If necessary, provide on a separate sheet. Note: A certified parking plan is required for all conversions.

Anticipated range of sales prices: N/A

Anticipated sales terms to tenants: N/A

Number of existing parking spaces: N/A

HORSEKEEPING

Is the project in a horsekeeping (K) district?

YES NO

Is the project within a plan-designated horsekeeping area?

YES NO

Is the project in an RA or more restrictive zone in the Chapter 1 Zoning Code, or in a Use District which allows "Animal Keeping: Equine" uses in the Chapter 1A Zoning Code?

YES NO

OTHER

Is more than one final map unit proposed?

YES

NO

If YES, attach a sketch showing each unit or phase.

Briefly describe your proposal below or on a separate sheet. List any requested adjustments to zoning regulations or waivers of dedication and/or improvements:

Demolition of (E) SFD, subdivision of land into 5 lots, construction of five (N) single-family homes with attached garages in a small-lot subdivision.

I certify that the statements on this form are true to the best of my knowledge.

Signed _____



Digitally signed by ExpressVPN Client
Date: 2025.10.30 18:48:17 -07'00'

Date: _____

10/30/2025

RECORD OWNER(S) / SUBDIVIDER (From Latest Adopted Tax Roll)

Applicant³ Name: Poan Chen
Company: Barrington Vision LLC
Address: 2443 Fillmore St. #380-6916 Unit/Space Number: _____
City: San Francisco State: CA Zip Code: 94115
Telephone: 323-677-2500 E-mail: info@bmrla.com

APPLICANT/REPRESENTATIVE

Name: Aaron Belliston
Company: BMR Enterprises
Address: 5250 Lankershim Blvd Ste 500 Unit/Space Number: _____
City: North Hollywood State: CA Zip Code: 91601
Telephone: 323-839-4623 E-mail: aaron@bmrla.com

ENGINEER/LICENSED SURVEYOR

Name: _____
Company: _____
Address: _____ Unit/Space Number: _____
City: _____ State: _____ Zip Code: _____
Telephone: _____ E-mail: _____

PRIMARY CONTACT FOR PROJECT INFORMATION⁴

Select only **one**. Both phone number and email address are required.

Owner Applicant Agent/Representative Other: _____

Telephone: 323-839-4623 E-mail: aaron@bmrla.com

To ensure notification of any public hearing as well as decisions on the project, make sure to include an individual mailing label for each member of the project team in both the Property Owners List and the Abutting Property Owners List, when requested by the Project Planner.

³ To ensure notification of any public hearing as well as decisions on the project, make sure to include an individual mailing label for each member of the project team in both the Property Owners List and the Abutting Property Owners List.

⁴ As of June 8, 2022, the Primary Contact for Project is required to have an Angeleno Account and register with the Ethics Commission for Significant Project Entitlements, as defined in LAMC Section [49.7.37\(A\)\(6\)](#). An email address and phone number shall be required on the Subdivider's Statement, and the email address provided shall match the email address used to create the Angeleno Account.



TREE DISCLOSURE STATEMENT

Los Angeles Municipal Code (LAMC) Section 46.00 requires the protection of specific trees/shrubs located on private and public property, and that they be shown on submitted and approved site plans. Any discretionary application on a property that includes changes to the building footprint or any other change to the areas of the property not currently built upon or paved, including demolition, grading, or fence permit applications, or any discretionary change that could potentially remove or affect trees or shrubs, shall provide a Tree Disclosure Statement completed and signed by the Property Owner.

In addition to the submittal of the Tree Disclosure Statement, the second portion of this form is the Tree Letter. If the Tree Disclosure Statement indicates the presence of protected trees/shrubs on the project site, including within the public right-of-way, that will not be removed or impacted by the project, then the Tree Letter will be required. When the Tree Letter is required, a Tree Expert will need to conduct an initial field analysis clarifying how the project will have no impact on protected trees/shrubs, including protected species within the public right-of-way. Additionally, as part of the Tree Letter, the Tree Expert will need to provide a Tree Plan which details the existing trees on site, as well as a list with photographs of all trees on site and within the public right-of-way. Instead of filing a Tree Report which details the level of impact to the trees on site, the Tree Expert will complete the Tree Letter when there will not be any impacts to trees/shrubs due to the proposed project. A copy of the form shall be submitted to the project's administrative files with Los Angeles City Planning.

If the Tree Disclosure Statement and/or the Tree Letter indicate that there are any protected trees/shrubs on the project site and/or protected tree/shrubs in the public right-of-way that may be impacted or removed as a result of the project, a Tree Report ([CP-4068](#)) will be required, and the field visit must be conducted by a qualified Tree Expert, prepared and conducted within the last 12 months.

3252 S Barrington Ave, Los Angeles, CA 90066

Property Address: _____

Date of Site Visit: July 24, 2025

Tree Disclosure Statement

Complete all the following fields below:

Does the property contain any of the following protected trees or shrubs?

As defined in the Protected Tree Ordinance (Ord. No. 186,873), the minimum size requirement for a protected tree is four inches or more in cumulative diameter, four and one-half feet above the ground level at the base of the tree. The minimum size requirement for a protected shrub is four inches or more in cumulative diameter, four and one-half feet above the ground level at the base of the shrub.

For reference purposes only, additional guidance and species identification information can be found in the Photographic Guide to the City of Los Angeles Protected Trees and Shrubs:

<https://streetsla.lacity.org/files/los-angeles-protected-trees-photo-guide-2024-septpdf>

Yes (Mark any that apply below)

- Oak, including Valley Oak (*Quercus lobota*) and California Live Oak (*Quercus agrifolia*) or any other tree of the oak genus indigenous to California, but excluding the Scrub Oak
- Southern California Black Walnut (*Juglans californica*)
- Western Sycamore (*Platanus racemosa*)
- California Bay (*Umbellularia californica*)
- Mexican Elderberry (*Sambucus mexicana*)
- Toyon (*Heteromeles arbutifolia*)

No

If unsure, please mark here. A Tree Expert may be required to inspect possible protected species at the discretion of the City Staff.

Does the property propose to remove any of the protected trees or shrubs listed above (per Ordinance No. 186,873)?

Yes **No**

If Yes, a Tree Expert must complete the Tree Report. See Form CP-4068 for more details.

If No, a Tree Expert must complete the Tree Letter section below and provide all accompanying documentation.

Have any trees or shrubs been removed in the last two years?

Yes **No**

If Yes, provide permit information: _____

Have any protected trees or shrubs been removed in the last two years (as listed in Ordinance No. 186,873)?

Yes No

If Yes, provide permit information: _____

Does the property contain any street trees in the adjacent Public Right-of-Way?

Yes No

Is the project proposing to remove any existing protected species of street trees in the adjacent Public Right of Way?

Yes No

If Yes, a Tree Expert must complete the Tree Report. See Form [CP-4068](#) for more details.

Does the project occur within the Mt. Washington/Glassell Park Specific Plan Area and contain any trees 12 inches or more in diameter at 4.5 feet above average natural grade at the base of the tree and/or is more than 35 feet in height?

Yes No

Photo Index. Provide clear color photos of each tree in its entirety. The minimum photo size for each protected tree/shrub is 5" x 7" and must include the tree number, tree name, and recommendation on the same page. Multiple trees may be shown in one photo if there is a method to differentiate between individual trees. Indicate if any trees other than street trees are intentional ornamental plantings. Photo labels must correspond to the site plan for each of the following tree categories:

- Street trees in the adjacent public right-of-way
- Protected trees/shrubs (Ordinance No. 186,873)
- Other on-site trees (not including protected trees/shrubs nor significant/native trees)
- Off-site trees (include trees where their roots or canopy encroaches on the parcel)

Tree Letter (If Applicable)

This section is to be completed only by a Tree Expert. For Tree Expert credentials, refer to page 6.

Will the project remove or possibly create a substantial effect on any of the above-marked protected trees, protected shrubs, and/or protected tree/shrub species within the public right-of-way?

- Yes.** The project will require a Tree Report ([CP-4068](#)) by a Tree Expert.

Please describe which of the above-protected trees and/or protected shrubs may be affected by the project:

- No.** The project site will not remove or possibly create a substantial effect on any of the listed protected trees and/or protected shrubs and will not need a Tree Report.

Please describe how the project will not remove or possibly create a substantial effect on the protected trees and/or shrubs. Include strategies and management practices to protect and maintain the species on site such as methods for avoiding soil compaction or mechanical damage:

Additional Information Attached:

Yes

No

Photo Index. Provide clear color photos of each tree in its entirety. The minimum photo size for each protected tree/shrub is 5" x 7" and must include the tree number, tree name, and recommendation on the same page. Multiple trees may be shown in one photo if there is a method to differentiate between individual trees. Indicate if any trees other than street trees are intentional ornamental plantings. Photo labels must correspond to the site plan for each of the following tree categories:

- Street trees in the adjacent public right-of-way
- Protected trees/shrubs (Ordinance No. 186,873)
- Other on-site trees (not including protected trees/shrubs nor significant/native trees)
- Off-site trees (include trees where their roots or canopy encroaches on the parcel)

Tree Plan. Provide a site plan identifying the locations and species of all existing trees and shrubs (protected and) onsite. Append an 11" x 17" or larger legible site plan to the Tree Report. The site plan should also include the following information:

- Topography
- Color-coded tree/shrub symbols:
 - Yellow: Oak tree including Valley Oak (*Quercus lobata*) and California Live Oak (*Quercus agrifolia*), or any other tree of the oak genus indigenous to Southern California but excluding the Scrub Oak (*Quercus berberidifolia*)
 - Blue: Western Sycamore (*Platanus racemosa*)
 - Green: California Bay (*Umbellularia californica*)
 - Orange: Southern California black walnut (*Juglans californica*)
 - Pink: Mexican Elderberry (*Sambucus mexicana*)
 - Brown: Toyon (*Heteromeles arbutifolia*)
 - Purple: Significant Tree
- Approximate canopy extent (size and shape) and a Tree Protection Zone
- Locations of off-site trees that may be impacted by the project, if applicable
 - The footprint of any proposed buildings, walls, patios, pools, etc.
- The lot and proposed building(s) square footage

Tree Expert Credentials

Only to be completed by the Tree Expert of hire

Name of Tree Expert: Lisa Smith

Mark which of the following qualifications apply:

- Certified arborist with the International Society of Arboriculture who holds a license as an agricultural pest control advisor
- Certified arborist with the International Society of Arboriculture who is a licensed landscape architect
- Registered consulting arborist with the American Society of Consulting
- Arborists

Certification/License No.: 464

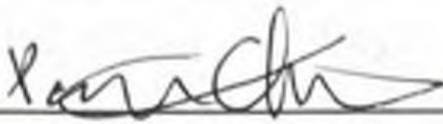
Tree Expert Name and Signature: Lisa Smith LISA SMITH Date: July 25, 2025

PROPERTY OWNER AFFIDAVIT

Before the application can be accepted, the owner of each property involved must provide a notarized signature to verify the application is being filed with their knowledge. Staff will confirm ownership based on the records of the City Engineer and/or County Assessor. In the case of partnerships, corporations, LLCs, or trusts, an officer of the ownership entity so authorized may sign as stipulated below.

- **Ownership Disclosure.** If the property is owned by a partnership, corporation, LLC, or trust, a disclosure identifying an officer of the ownership entity must be submitted. The disclosure must list the names and addresses of the principal owners (25% interest or greater). The signatory must appear in this list of names. A letter of authorization, as described below, may be submitted provided the signatory of the letter is included in the Ownership Disclosure. Include a copy of the current partnership agreement, corporate articles, or trust document as applicable.
- **Letter of Authorization (LOA).** A LOA from a property owner granting someone else permission to sign the application form may be provided if the property is owned by a partnership, corporation, LLC, or trust or in rare circumstances when an individual property owner is unable to sign the application form. To be considered for acceptance, the LOA must indicate the name of the person being authorized the file, their relationship to the owner or project, the site address, a general description of the type of application being filed and must also include the language in items 1-7 below. In the case of partnerships, corporations, LLCs or trusts the LOA must be signed and notarized by the authorized signatory as shown on the Ownership Disclosure or in the case of private ownership by the property owner. Proof of Ownership for the signatory of the LOA must be submitted with said letter.
- **Grant Deed.** Provide a Copy of the Grant Deed If the ownership of the property does not match City Records and/or if the application is for a Coastal Development Permit. The Deed must correspond exactly with the ownership listed on the application.
- **Multiple Owners.** If the property is owned by more than one individual (e.g., John and Jane Doe or Mary Smith and Mark Jones) notarized signatures are required of all owners.
 - I hereby certify that I am the owner of record of the herein previously described property located in the City of Los Angeles which is involved in this application or have been empowered to sign as the owner on behalf of a partnership, corporation, LLC or trust as evidenced by the documents attached hereto.
 - I hereby consent to the filing of this application on my property for processing by the Department of City Planning.
 - I understand if the application is approved, as part of the process the City will apply conditions of approval which may be my responsibility to satisfy including, but not limited to, recording the decision and all conditions in the County Deed Records for the property.
 - By my signature below, I declare under penalty of perjury under the laws of the State of California that foregoing statements are true and correct.

Property Owner's signature must be signed/notarized in the presence of a Notary Public. The City requires an original signature from the property owner with the "wet" notary stamp. A Notary Acknowledgment is available for your convenience on the following page.

Signature 

Date 10/31/2025

Print Name Poan Chen, Manager Barrington Vision LLC

Signature _____

Date _____

Print Name _____

Space Below for Notary's Use

California All-Purpose Acknowledgement

Civil Code ' 1189

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document, to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

State of California

County of Los Angeles

On 10/31/25 before me, Gabriel Kim, Notary Public
(Insert Name of Notary Public and Title)

personally appeared Poan Chen, who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf on which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.

[Signature]
(Signature)

Seal



APPLICANT DECLARATION

A separate signature from the applicant, whether they are the property owner or not, attesting to the following, is required before the Tree Disclosure Statement can be accepted.

1. I hereby certify that the information provided in this application, including plans and other attachments, is accurate and correct to the best of my knowledge. Furthermore, should the stated information be found false or insufficient to fulfill the requirements of the Department of City Planning, I agree to revise the information as appropriate.
2. I hereby certify that I have fully informed the City of the nature of the project for purposes of the California Environmental Quality Act (CEQA) and have not submitted this application with the intention of segmented a larger project in violation of CEQA. I understand that should the City determine that the project is part of a larger project for purposes of CEQA, the City may revoke any approvals and/or stay any subsequent entitlements or permits (including certificates of occupancy) until a full and complete CEQA analysis is reviewed and appropriate CEQA clearance is adopted or certified.
3. I understand that the environmental review associated with this application is preliminary, and that after further evaluation, additional reports, studies, applications and/or fees may be required.
4. I understand and agree that any report, study, map or other information submitted to the City in furtherance of this application will be treated by the City as public records which may be reviewed by any person and if requested, that a copy will be provided by the City to any person upon the payment of its direct costs of duplication.
5. I understand that the burden of proof to substantiate the request is the responsibility of the applicant. Additionally, I understand that planning staff are not permitted to assist the applicant or opponents of the project in preparing arguments for or against a request.
6. I understand that there is guarantee, expressed or implied, that any permit or application will be granted. I understand that each matter must be carefully evaluated and that the resulting recommendation or decision may be contrary to a position taken or implied in any preliminary discussions.
7. I understand that if this application is denied, there is no refund of fees paid.
8. I understand and agree to defend, indemnify, and hold harmless, the City, its officers, agents, employees, and volunteers (collectively "City"), from any and all legal actions, claims, or proceedings (including administrative or alternative dispute resolution (collectively "actions")), arising out of any City process or approval prompted by this Action, either in whole or in part. Such actions include but are not limited to: actions to attack, set aside, void, or otherwise modify, an entitlement approval, environmental review, or subsequent permit decision; actions for personal or property damage; actions based on an allegation of an unlawful pattern and practice; inverse condemnation actions; and civil rights or an action based on the protected status of the petitioner or claimant under state or federal law (e.g. ADA or Unruh Act). I understand and agree to reimburse the City for any and all costs incurred in defense of such actions. This includes, but is not limited to, the payment of all court costs and attorneys' fees, all judgements or awards, damages, and settlement costs. The indemnity language in this paragraph is intended to be interpreted to the broadest extent permitted by law and shall be in addition to any other indemnification language agreed to by the applicant.

9. I understand that the City is protected by numerous statutory immunities from liability for damages that may be caused by its land use regulatory actions, as set forth in Government Code, section 818, et seq. For instance, the City cannot be held liable for personal or property injuries or damages allegedly caused by its approval and issuance of any discretionary permit, entitlement or approval (Gov. Code § 818.4), or its failure to inspect or its negligence in inspecting a property for the purpose of determining whether the property complies with or violates any permit, entitlement or approval or contains or constitutes a hazard to health or safety (Gov. Code § 818.6).
10. By my signature below, I declare under penalty of perjury, under the laws of the State of California, that all statements contained in this application and any accompanying documents are true and correct, with full knowledge that all statements made in this application are subject to investigation and that any false or dishonest answer to any question may be grounds for denial or subsequent revocation of license or permit.

The City requires an original; signature from the applicant. The applicant's signature below does not need to be notarized.

Signature 

Date 10/31/2025

Print Name Poan Chen, Manager



The Tree Resource ®
Lisa Smith, Registered Consulting Arborist #464

July 24, 2025

Barrington Vision LLC
3252 S Barrington Ave
Los Angeles, CA 90066

Re: 3252 S Barrington Ave, Los Angeles, CA 90066

Dear Client,

This letter is in regard to the subject property at 3252 S Barrington Ave, Los Angeles, CA. I reviewed the site on July 24, 2025 as an ISA Certified Arborist to evaluate the trees on site for native protected species prior to the proposed construction.

Site History

This property is located in the Mar Vista area of Los Angeles and is currently developed with a single family residence. The owner is preparing to re-develop.

PROTECTED TREES, URBAN FORESTRY DIVISION

This property is under the jurisdiction of the City of Los Angeles and guided by the Native Tree Protection Ordinance No. 186873. **Protected Trees** are defined by this ordinance as oaks (*Quercus* sp.) indigenous to California but excluding the scrub oak (*Quercus dumosa*); Southern California black walnut (*Juglans californica* var. *californica*); Western sycamore (*Platanus racemosa*) and California bay laurel (*Umbellularia californica*) trees with a diameter at breast height (DBH) of four inches (4") or greater. **Protected Shrubs** are defined as Mexican elderberry (*Sambucus mexicana*); toyon (*Heteromeles arbutifolia*) which measure four inches or more in cumulative diameter, four and one-half feet above the ground level at the base of the shrub.

There are NO trees or shrubs on this property that would be considered protected native within the City of Los Angeles Native Tree Protection Ordinance.

CITY OF LOS ANGELES STREET TREES, URBAN FORESTRY DIVISION

There are no trees located in the parkway perimeter that are considered **City of Los Angeles Street Trees**.

NEIGHBOR TREES

I have also inspected the neighboring properties to confirm there are NO NATIVE protected tree species, neither on the property, nor in close proximity to any areas of construction.

Should you have any questions, please contact me at (310) 663-2290.

Respectfully submitted,



Lisa Smith

Lisa Smith – The Tree Resource ®

Registered Consulting Arborist #464

ISA Board Certified Master Arborist #WE3782B

ISA Tree Risk Assessor Qualified- Instructor

Member of American Society of Consulting Arborist



Assumptions and Limiting Conditions

No warranty is made, expressed or implied, that problems or deficiencies of the trees or the property will not occur in the future, from any cause. The Consultant shall not be responsible for damages or injuries caused by any tree defects, and assumes no responsibility for the correction of defects or tree related problems.

The owner of the trees may choose to accept or disregard the recommendations of the Consultant, or seek additional advice to determine if a tree meets the owner's risk abatement standards.

The Consulting Arborist has no past, present or future interest in the removal or retaining of any tree. Opinions contained herein are the independent and objective judgments of the consultant relating to circumstances and observations made on the subject site.

The recommendations contained in this report are the opinions of the Consulting Arborist at the time of inspection. These opinions are based on the knowledge, experience, and education of the Consultant. The field inspection was a visual, grade level tree assessment.

The Consulting Arborist shall not be required to give testimony, perform site monitoring, provide further documentation, be deposed, or to attend any meeting without subsequent contractual arrangements for this additional employment, including payment of additional fees for such services as described by the Consultant.

The Consultant assumes no responsibility for verification of ownership or locations of property lines, or for results of any actions or recommendations based on inaccurate information.

This Arborist report may not be reproduced without the express permission of the Consulting Arborist and the client to whom the report was issued. Any change or alteration to this report invalidates the entire report.